

4.1 WORKSHOP

PREFIGURATIVE ARCHITECTURES

PROJECT BOOKLET

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FOREWORD

This booklet aims to advocate an alternative praxis for architectural and construction practices. It calls into question the role architecture plays within politics and society on a global scale.

I will begin by demonstrating my understanding of Prefigurative Architecture, defining a set of parameters which I believe are often embodied within a Prefigurative project. This definition will then be used as a tool to critically analyse 5 practices and their ethos, design methods and construction techniques.

PREFIGURATIVE ARCHITECTURE

Prefiguration is a term coined in the 1970s by philosopher Carl Boggs, who observed a shift in the way politics were protested in the United States (Boggs,C 1977). Protests saw a departure from their traditional expression toward a demonstration in the present to vindicate a way of living in the future. This method aligns the present and the future, affirming that the future is not detached from the present, into a key political practice (Maeckelbergh,M 2011). Theorist Deleuze and Delanda studied the physics of time and by discussing the linearity of time, the present is considered as a field of actualisation and the future is not discoupled from this (Delanda,M. 2002). I believe that Prefigurative methods view the future as part of the present, and in doing so reduce the limitations of the present to the point that new ideologies can be applied.

Prefiguration, in the spatial sense, concerns architecture in relation to politics; architecture as politics (Harvey,D. 2014). Prefigurative architecture utilises the theory of homogenised time to practice a campaign for a decommodified society which is often associated with humanitarian architecture. Prefigurative architecture argues for a transformation of dead space into a platform for social interaction in which socio-political dynamics of construction practices are called into question (Minuchin.L 2016). I understand prefiguration to start from a moment of disruption that suggests things should be organised in a different manner. In *The Politics of Aesthetics* (2006), Ranciere considers the moment of disruption which illuminates a becoming of the political, and it is this disruption of the norm which I believe is Prefigurative.

After studying Prefiguration I realise that many of the integral concepts are not new ideas but in fact were encompassed within the founding principles of Modernism. Modernism broke away from the conventions of the Victorian era, after the revelation that collective social values were not particularly meaningful, and it used art and architecture in its political capacity to demonstrate this (Jones,P,B. 2005). However where modernism failed, prefiguration has the opportunity to prosper as it advocates a departure from state and government dictated control over the city (Bell,B. 2008). Engaging with many Marxist values, Prefigurative Architecture challenges class and societal organisation, instead favouring the Marxist belief that everyone is entitled to their basic rights irrespective of their

social standing (Marx,K. & Engels,F. 1848). Prefigurative thinking opposes the city as a possession of the bourgeois and believes that the people should claim back the ownership of it (Harvey,D. 2014) and govern in an autonomous fashion as referred to by Maden and Marcuse in *In Defense of Housing* (2016).

I will consider the definition of Prefiguration through the characterisation of its principle objectives; perhaps the primary of which is the decommodification of society. The commodification and gentrification of society is resulting in a larger gap between the elite and the poor, the knowledgeable and the unknowledgeable, and it is a gap which is continuously growing (Chatterton,P. & Pickerill,J. 2010). In today's society, the value of the exchange potential of land is considered of higher importance than its use value which is constantly pushing prices up and standards down (Harvey,D. 2014). This can be seen particularly in the housing market as housing stock has developed into a commodity in which exchange value surpasses use value (Harvey,D. 2014). For inhabitants this ultimately means loss of the right to housing as a basic right unless it can be afforded (Madden,D. & Marcuse,P. 2016) Prefiguration therefore focuses on swinging this balance to promote use value against exchange.

A further objective of Prefiguration is the dissemination of knowledge. Foucault has written extensively on the intertwined relationship between knowledge and power, summarising that to have knowledge is to have power and therefore the lack

of results in lower opportunities within society (Foucault,M. 1980). Prefigurative Architecture often acts as unmediated intervention from policy planning and established construction practices in order to reduce the gap between knowledge and power (Minuchin.L 2016). Awan, Schneider and Till advocate the dissemination of knowledge in their book *Spatial Agency – Other ways of doing architecture* (2011). By providing construction education to communities, the opportunity for improving their own buildings and neighbourhoods can be exploited without the need to wait for intervention from the government or other organisations. This implementation of people as infrastructure (Simone,A 2004) has the potential to remove the power from the highest level and returns it back to the people who are effected on a day-to-day basis as advocated by Kropotkin in *Mutual Aid:A Factor of Evolution* (1902).

Within Prefigurative theory I have found an element of eternally incomplete architecture which means there is always the capacity to transform the built environment because the way things are organised is never final. This links to the concept linear time, as trials today may or may not be successful, however there is always an element of learning involved which can shape the next attempt. Do ↔ Learn.

THEORY

KEY POINTS

The key points highlighted in this chapter relate to the theorists who have contributed to Prefigurative Architectural Theory. Their ideas and principles will be referred to throughout the document as I use them to demonstrate how the practices relate to Prefiguration.

Harvey (2000) Spaces of Hope

Through space every kind of social relationship can be organised. Potential of anticapitalism. Architects need to be radical and insurgent. Housing as infrastructure. Critics believe that society can only prosper if workers remain poor, ignorant and deprived of any and all knowledge that might multiply their desires. Marxist beliefs. To produce political change you have to have physical change. References Lefebvre and the 'right to the city'. Dwelling to be universally available as a human right. Highlights problems of utopias of the 60s which have always been set in the future and heavily dependent on the state – dialectal utopia, social change needed in the present. Use value is lower than exchange value in today's society, particularly related to housing.

Maden and Marcuse (2016) In defence of housing

Argues for the decommodification of housing. Act of living is entitled to everyone rather than dictated by profit. Housing is political. Marxist beliefs. City is for people not for profit. Right to the city belongs to people not the bourgeois.

Till and Schneider (2005) Flexible housing: Opportunities and Limits. (2011) Spatial Agency.

Flexibility should be an essential part of architectural design to ensure sustainability. Recycling and reuse of materials in original form to limit energy usage. Less concerned with the physical manifestation of the architecture than other styles. Interventions can have little architectural significance, or can even be invisible, but can have massive spatial implications. Architectural knowledge is currently guarded within professional control through jargon, technical vocabulary and limited to inside the field. Instead they support the dissemination of knowledge between non industry professionals, outsiders.

Ranciere (2004) The Politics of Aesthetics

Moment of disruption. How we organise space defines how we use it, break the alignment between space and object. A critique of Ranciere's theory is that the development of this idea does not surpass the aesthetic, the concept lacks the development into materiality and construction.

Marx and Engels (1948) The Communist Manifesto

Marxist. Class struggle. Working class expected to live in pessimistic situation. The crisis is global under capitalism.

Simone (2004) People as Infrastructure: Intersecting Fragments in Johannesburg

Simple architecture. People as infrastructure. Proximity leads to exploration of cooperation of people of different classes based on trust.

Baudrillard (1998) The Consumer Society

Concerned with the way technological progress effects societal change. Consumption rather than production was the main driver of capitalism. Contradicts Marx's use value, believes that value is determined by function, exchange potential, symbolic and sign.

Habraken (1972) Supports: An alternative to mass housing

Promotes integration of users and residents in design process. Support = architect and state provides large scale infrastructure and infill = people build their houses in-between (self-build)

Foucault (1980) Power/Knowledge: Selected Interviews and Other Writings.

Relationship between power and knowledge and how they are used to form social control. Formations of knowledge emerge only as the result of relations of power. Built environment is shaped to facilitate the structures of 'power & knowledge' of which surveillance is main source of power.

Kropotkin (1902) Mutual Aid: A Factor of Evolution

Anarchist beliefs, promotes society free from central government based on voluntary associations between workers. Capitalism created poverty and promoted privilege. The concepts already exist in evolution and human society. Predisposition to help each other without government coercion (actually government oppresses this).

Proudhon (1840) What is Property?

"Property is theft" landowner or capitalist stole from labourer. "Property is freedom" what one produces is ones property. Property is liberating. Land can only be rightly possessed by use of occupation 'possession'

EXYZT

“Although being part of London’s Architecture Festival and invited by London’s Architectural Foundation, we even dare to claim that there is more to this place than architecture.”

Source. EXYZT (2009)



Figure 1. The Southward Lido. Source. Etherington, R. (2008)

PRACTICE PROFILE

Name - EXYZT

Founded - 2002

Location - Paris

Key Characteristics/Beliefs

- Design and build their projects themselves
- Temporary structures for social space on temporary sites
- Consultation with user groups
- Multidisciplinary; architects, graphic designer, plumber, DJ, photographer, woodworker, electrician, web designer, cook and writer
- DIY aesthetic, cheap and easy to build

PROJECT

Name - Southwark Lido

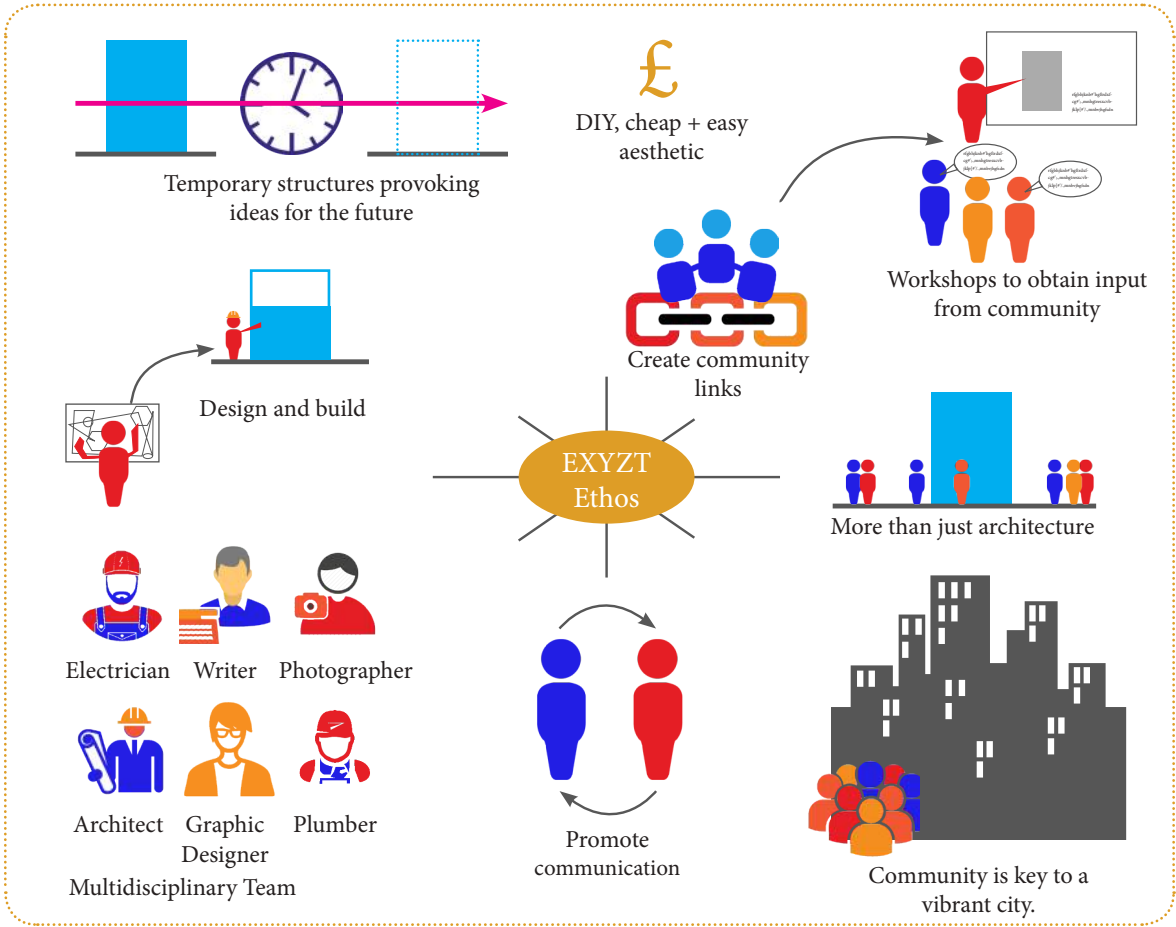
Location - Union Street, London

Date - 03.07.2008 - 13.07.2008

Typology - Public Lido

Key Characteristics

- Lido designed to create a vibrant point of community and cultural engagement
- Designed for London Festival of Architecture 2008
- Empty plot lent by Solid Space to EXYZT
- Based on notion of Greek baths used for political and social discussions
- Neighbours, visitors, foreigners and locals are encouraged to come here to meet, enjoy and discuss

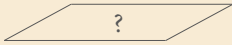


PROCESS OF LIDO CONSTRUCTION



Previous building demolished

Blank spot lent by Solid Space to EXYZT



Discovering rhythms of area



Cameras given to neighbours to establish vision of community



Talk to the locals and visitors



Beach huts erected for architects to live in



Architects + design team erect the structure



Completed lido is opened



Community mobile garden developed and add colour to the garden



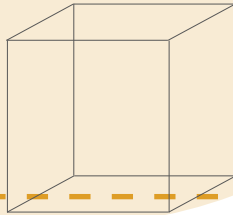
Beach huts double up as changing rooms



Bands performed as part of the local street genius programme



Bar operated by a local restaurant



Plot is developed into new residential + office block

Plot continues in new use



4 week construction period

10 days intervention in use

“Even today at the opening, this place is in still “under construction” as it will be tomorrow. Beach chairs or moving constantly, posters are hung on the wall, our neighbour is preparing his beach hut for the next days.”
Source. Spatial Agency (2008)



Figure 2. Lido during construction. Source. Southwarklido (2008)



Figure 3. Completed Lido opened to the public. Source. The Renuion (2008)

DESCRIPTION OF PRACTICE/ PROJECT

EXYZT's projects have a very informal feel however they are heavily curated. Through creating links with local inhabitants and specific user groups they design spaces that can be appropriated by the community. The community workshops ensure that the design ideals and rhythms of the area are addressed within the design. The practice focuses on temporary installations to ensure that no space is completely appropriated by one dominant user group. As a multidisciplinary team they design and build their projects themselves, living on site during the construction process in order to allow them to become one of the inhabitants of the area.

Their work on Southwark Lido expresses their strategy of urban renewal, based on the idea that a community of users, actively creating and inhabiting their urban environment, is key to generating a vibrant city. Situated on an empty unused plot, lent to them by Solid Space the intervention becomes a social space for locals. The social space transformed an unused urban space but more importantly provided a platform for conversation between inhabitants. EXYZT believe that this project is about more than just architecture, as it tries to stimulate interaction between inhabitants ultimately demonstrating “the potential for a better city”.

The temporary installation aimed to have a lasting impression on the area and provoke ideas for the future. It proposed an architectural solution which did not consume the area but contributed towards it. It advocated a departure from the traditional anonymous exchanges we have on the street in the urban landscape today using architecture as a means of bringing people together.

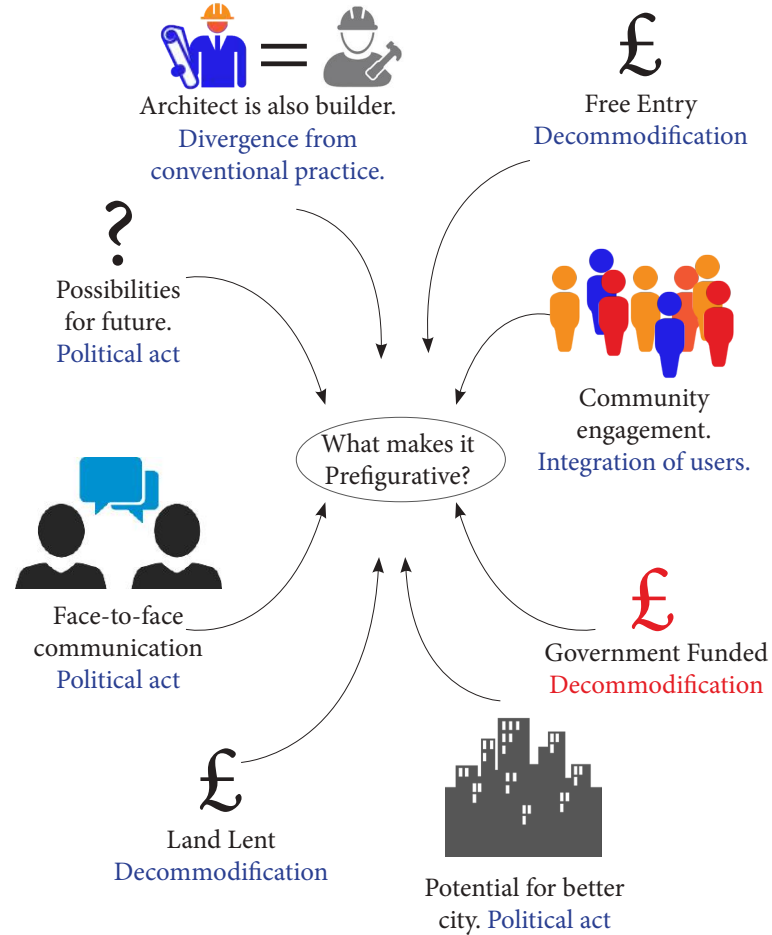
“The city we love is that in which anything is possible, where there is still space for spontaneous social, cultural and economic games. A city that resembles those who create and inhabit it. We defend the idea of architecture not as a simple act of design and build but as a tool that needs to be combined with other skills and practices to create new forms and strategies of building and living in the city.”
 Source. Spatial Agency (2008)



Figure 4. Community is key to a vibrant city. Source. Curating Cities (2008)



Figure 5. The Union Street Urban Orchard 2010, The Urban Physic Garden 2011. Source. The Reunion (2008)



ANALYSIS OF PREFIGURATIVE METHODS

The intervention becomes a political act as it aims to demonstrate the potential for a better city. As mentioned in the foreword, architecture as politics is key to Prefigurative thinking. EXYZT criticise the poor communication across different classes in the modern society and encourage socialising and interaction between residents. “Within a context where we are more ignoring or avoiding one another, this project puts forward possible encounters.” (EXYZT 2009). The intervention highlighted and disrupted this common problem of urban living and introduced a solution which allowed the breaking down of the social classes in the area. The practice believe that the problem is wider than this site, the intervention suggests that the whole city is struggling with the same issue which needs to be addressed. The project also acted as a political statement to provoke possibilities other than exchange value in the future as it attempted to demonstrate that there is a need for social space and interaction in order to have a vibrant city. This appears to have been partially successful as there were two other temporary community projects on the site after this one (see figures 6 + 7).

As the architect for the project, EXYZT later also became the builders. This divergence from the conventional architectural process can be linked to Prefiguration. The forward discusses Prefiguration as transformation of dead space into a platform for social interaction in which socio-political dynamics of construction practices are called into question.” For EXYZT this is engrained in their ethos, challenging the norm of construction convention by suggesting an alternative which they practice in the present.

The intervention looks to the decommodification of society, a theme highlighted in the foreword as one of the primary objectives of Prefigurative Architecture. Entrance to the lido was free which allowed people across the social spectrum access to the service. The land was also lent by Solid Space for the project. This decommodification of the land demonstrated that exchange value can be lower than the use value in today’s society.

However, the funding of this project is controversial to Prefigurative thinking. The project was part of London’s Architecture Festival and was funded by the government. This top down approach is criticised by many Prefigurative theorists as the route of the problem engrained within society.

EXYZT’s design process is strongly informed by the input from community engagement and the understanding of the rhythm of the area, which they realise whilst living on site, curating the project. This links to the theory of Habracken who promotes the integration of users and residents in the design process. Traditionally the architect would assume space based on intrinsic knowledge of user requirements, however the departure from this allows the space to be orientated around the people rather than the architect’s impression of them. For EXYZT the input of the users is seen as key in this project as it is a social project in which the inhabitants of the area need to be engaged in order to deliver a successful intervention. By allowing the people the inclusion of their ideas into the design the user is empowered and claims back some of the right to the city. This focus links to the fundamental concepts of Prefigurative Architecture as stated earlier in the foreword.

ARCHITECTURE FOR HUMANITY

“You can’t just have an idea, an idea is 10% of the solution. Implementation is 90% of the solution. So unless you build it, it doesn’t matter.” C. Sinclair, founder of Architecture for Humanity
Source: Sinclair.C (2011)

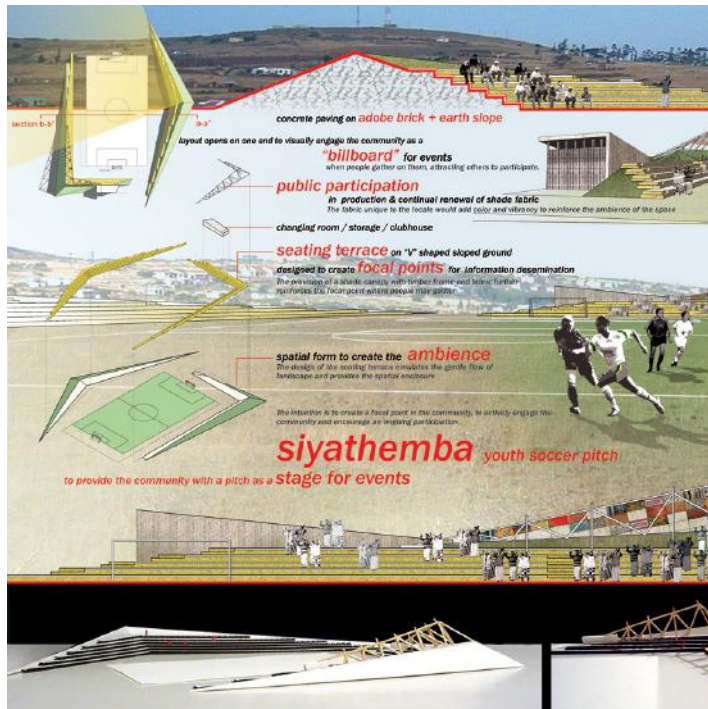


Figure 6. The Winning Competition Entry by Swee hong Ng. Source: Architecture for Humanity (2005)

PRACTICE PROFILE

Name - Architecture For Humanity

Founded - 1999

Location - San Francisco

Key Characteristics/Beliefs

- Aim to redefine what architecture can do in the 21st century
- Creating a marriage between architects from all over the world with local expertise
- All problems are local and all solutions are local
- Architecture is not just about the solution but raising awareness
- Generational sustainability
- Web based competitions
- Not-for-profit practice

PROJECT

Name - Siyathemba

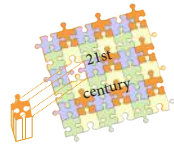
Location - KwaZulu-Natal, South Africa

Date - 2004

Typology - Sports + HIV/AIDS outreach centre

Key Characteristics

- Football pitch and sports facilities as new community hub
- HIV and AIDS education, prevention and treatment centre run by medical professionals who double as football coaches
- Targetted towards 9-14 year old children
- Sustainable, local building materials and local labour
- Aspiration to inspire more community health centres across the rest of the world



Redefining architectures' role in the 21st century



Architect



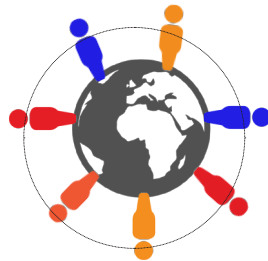
Local



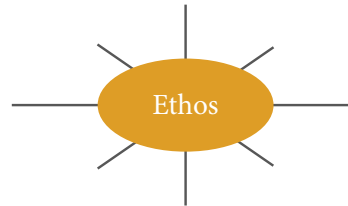
Marriage between international architects and local expertise



Architecture to raise awareness



Web-based competition



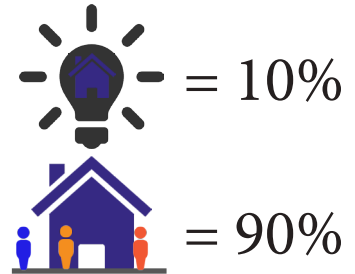
Generational Sustainability



All problems are local, all solutions are local

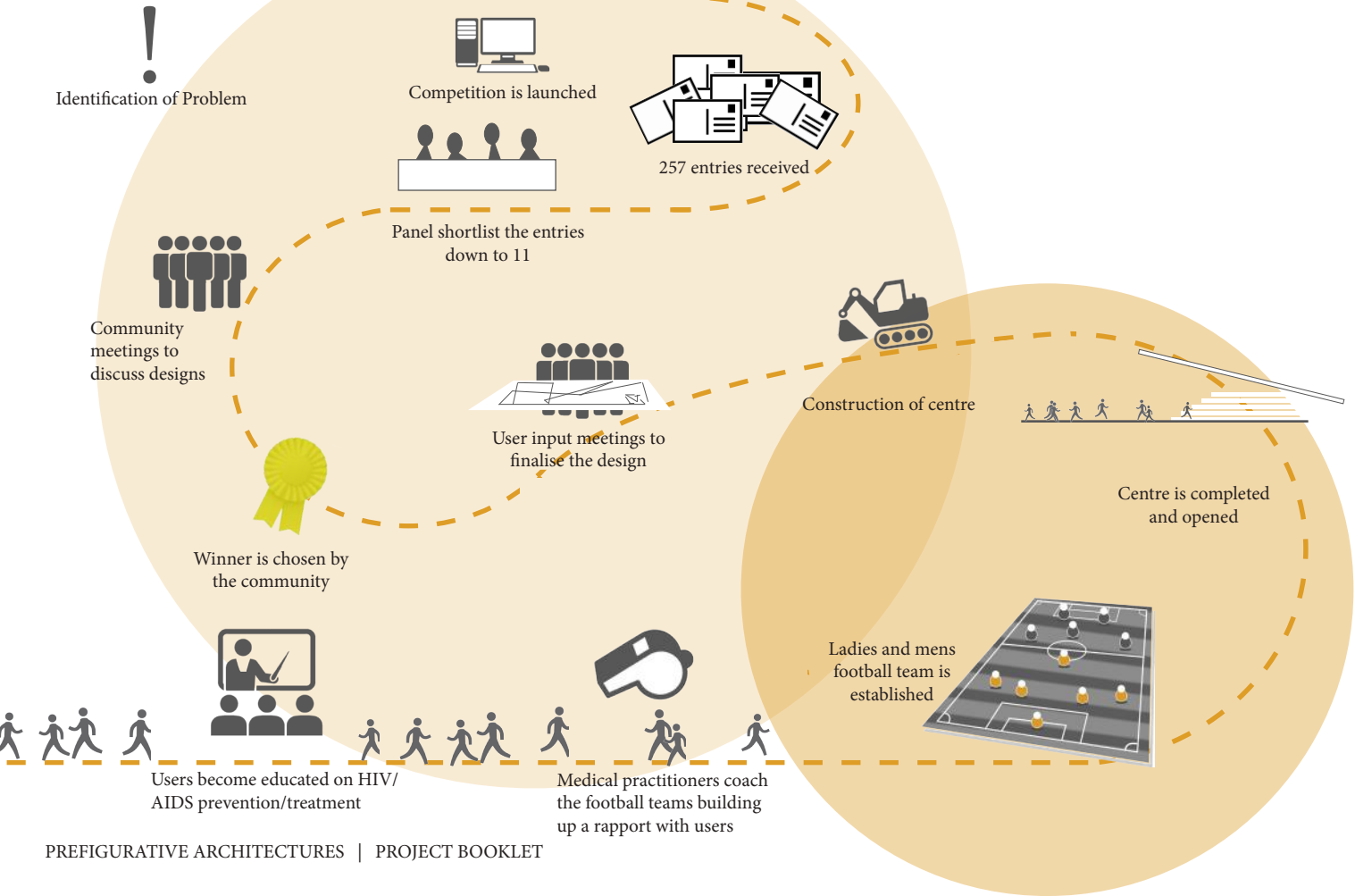


Not-for-profit organisation



The idea is only 10% the implementation is 90%

PROCESS OF SIYATHEMBA CONSTRUCTION



DESCRIPTION OF PRACTICE/ PROJECT

Architecture for Humanity is primarily concerned with providing relief for people who are suffering due to systemic issues and natural disasters around the world. They aim to get architects and designers involved in humanitarian work, to begin to tackle problems within communities without the lengthy, costly process inherent to solutions trickling down from local authorities and global aid companies. They utilise the web to harness the networking power of the internet to tackle humanitarian crises and then combine this global network with local infrastructure and expertise to ensure appropriate designs are realised.

Siyathemba began as an online competition in 2004 to provide a sports centre combined with medical provision in Kwazulu-Natal, South Africa, in response to the huge concern in the area regarding HIV/AIDS. Kwaz-Zulu-Natal has one of the highest HIV/AIDS rates in the world, with 45% of people testing positive. South Africa also has the highest rape rate in the world, with 3 in 5 women raped at some point in their lives, leading to soaring HIV/AIDS rates which is now the leading cause of death in South Africa. The project therefore aimed to create a community hub through which the dissemination of knowledge and medical help relating to HIV/AIDS could be sought.

The competition winner was chosen by the community after a shortlisting process, in order to ensure the empowerment and engagement of the users. The football pitch acts as the community hub, encouraging engagement and community interaction with the centre which provides the area with the first ever female football team.



Figure 7. Series of workshops involving the community and football teams in the design process. Source. Architecture for Humanity (2005)



Figure 8. Visualisation of football pitch. Source. Architecture for Humanity (2005)

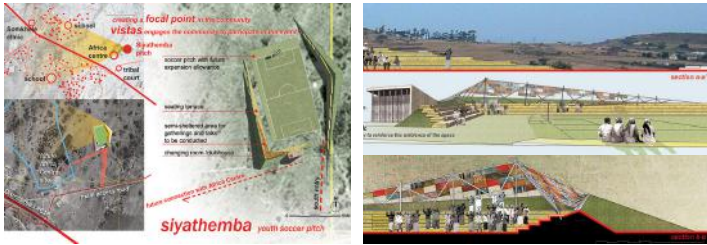
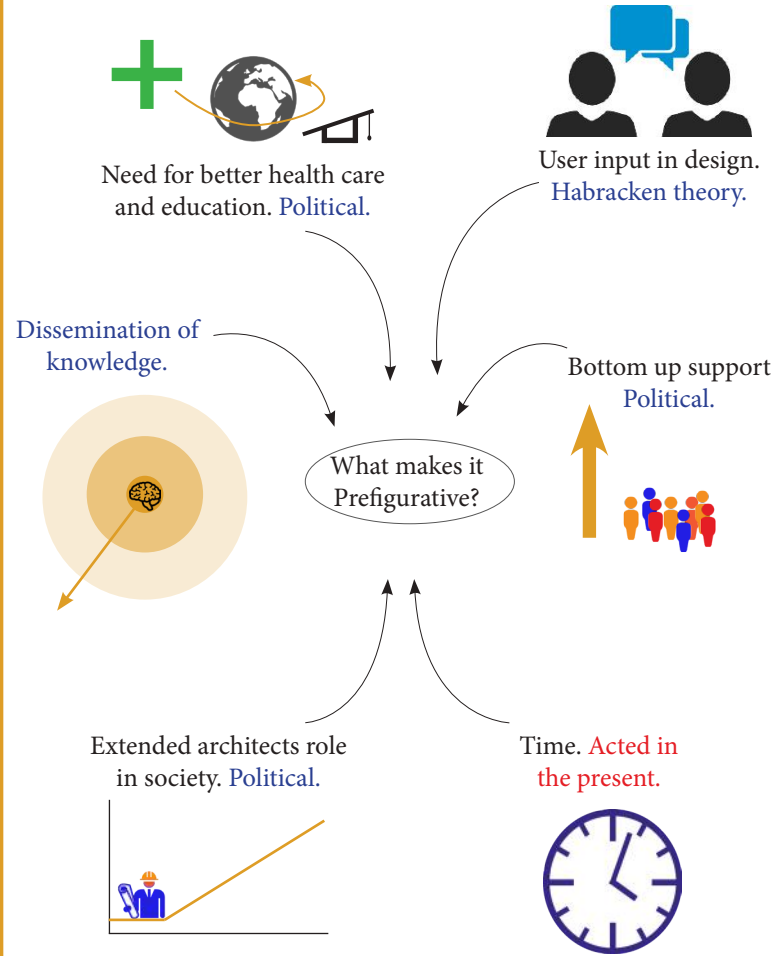


Figure 9. Location of health and football center and sections of design. Source. Architecture for Humanity (2005)



ANALYSIS OF PREFIGURATIVE METHODS

Siyathemba becomes a political project as it attempts to highlight the need for better education and health services across South Africa, with particular reference to HIV/AIDS. Architecture for Humanity bases itself on the principal that the role of architecture is not just to provide the solution but to raise awareness of the problem and reaches out to architects directly, proposing an extension of their responsibilities in society. Siyathemba aims to act as a catalyst for other medical centres to be built all around the world.

The education is poorest among girls in the area who often stay at home, missing school. The centre introduced the first female football team to encourage girls to the centre to allow education to reach them. The dissemination of medical knowledge empowers the users as they have more control over their well-being. The medical workers also double as football coaches promoting a rapport between the doctors, who are often seen to have a position of authority, and the users, creating a more effective platform for education in which the doctors become the infrastructure.

The project demonstrates that medical support can be provided without the need of top-down government intervention. As discussed by Kropotkin, aid can be developed on the ground by people coming together to help each other. Sinclair, the founder of Architecture for Humanity, strongly criticises the time it takes government and global aid companies to act, and when they do, the cost at which they do so. The medium of a global competition however also elongates the design and construction process away from action in the present which is associated with Prefigurative Architecture.

Despite the time drawbacks of the competition it provides some benefits to the project. Well-considered, aesthetically pleasing design is often associated with the elite and is deemed unachievable for the poor due to limited resources. Here the deprived were offered the opportunity of a beautiful design as 257 entries were received. The users chose the winner and continued to have input in the design process through workshops and meetings, supporting Habrakens theory.

Architecture of Humanity's biggest contradiction to Prefigurative theory is that they are not focused on the decommodification of society. Sinclair has stated "I don't believe in equity sweat", explaining that in their projects the local labour and construction experts are paid for their services as he doesn't believe that the deprived should be made to work for free. They try to implement small local businesses out of reconstruction to help rebuild the communities, not just physically but mentally, believing that this will promote social cohesion through a positive change. As a not-for-profit organisation they are funded by large multi-national companies such as Nike and Amazon who many Prefigurative Theorists believe are a large part of the social problem today.

Following this project, Architecture for Humanity promoted the architecture network which provides the platform for construction drawings and designs to be shared, for free, globally. Once a project has completed, the drawings are published online and anyone from anywhere can take them and replicate them as an open source. This provides a decommodification of architectural practice as people no longer have to hire an architect to gain a design and it challenges the traditional construction process.

“I think part of the job we have as [architectural] professionals is an obligation to fire arrows to try and break down orthodoxy.” Paul Pholeros, Director Healthabitat
 Source. Charlesworth,E. (2014)

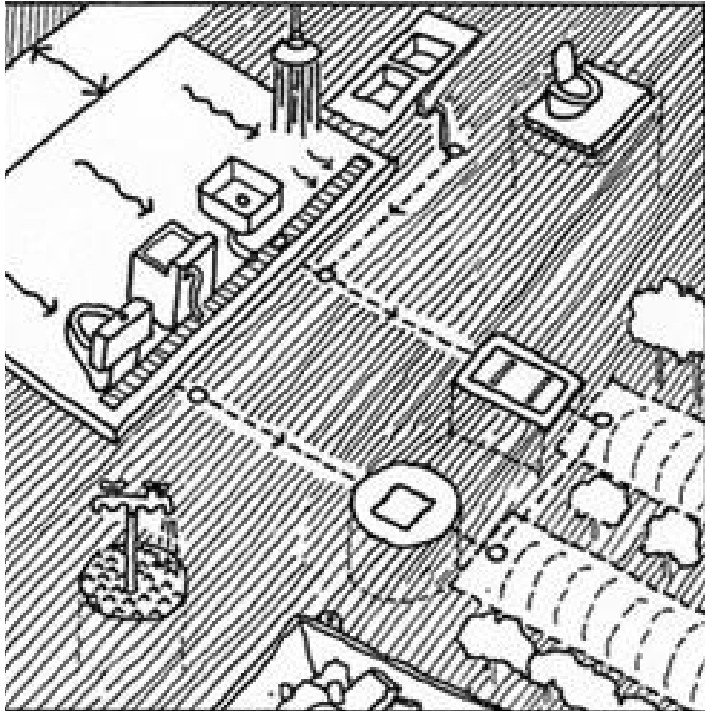


Figure 10. Diagrams used to explain the scheme to the workers who didn't speak English. Source. Healthabitat (2016)

PRACTICE PROFILE

Name - Healthabitat

Founded - 1999

Location - Australia

Key Characteristics/Beliefs

- “A plan to stop people getting sick”
- Reduce poverty through design
- Every design response has to vary in every place
- Start on day one of every project so that at the end of day one there is an improvement already in place
- Not always a building as the solution
- Architecture focusing on the well-being of people and the places they need to survive

PROJECT

Name - Nepal Sanitation Program

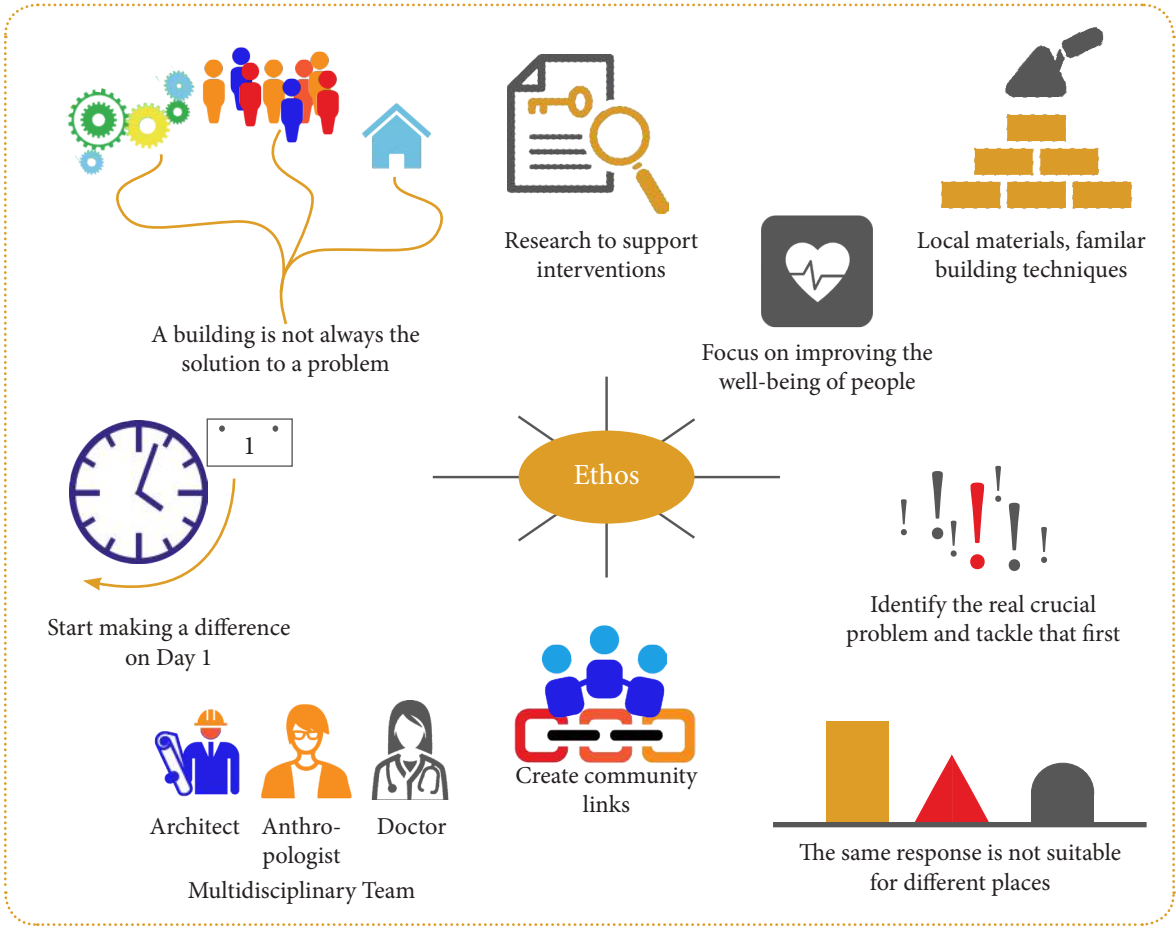
Location - Kathmandu Valley, Nepal

Date - June 2013

Typology - Sanitation Program

Key Characteristics

- Built toilets, hand washing facilities + waste water systems for 3 villages approximately 1000 people
- Built a team which is training up the neighbouring villages to ensure that the project continues
- Implemented a system which uses human and animal waste to produce 3-4 hours of free fuel daily per household
- Provided rain-water collection system to help with water shortage



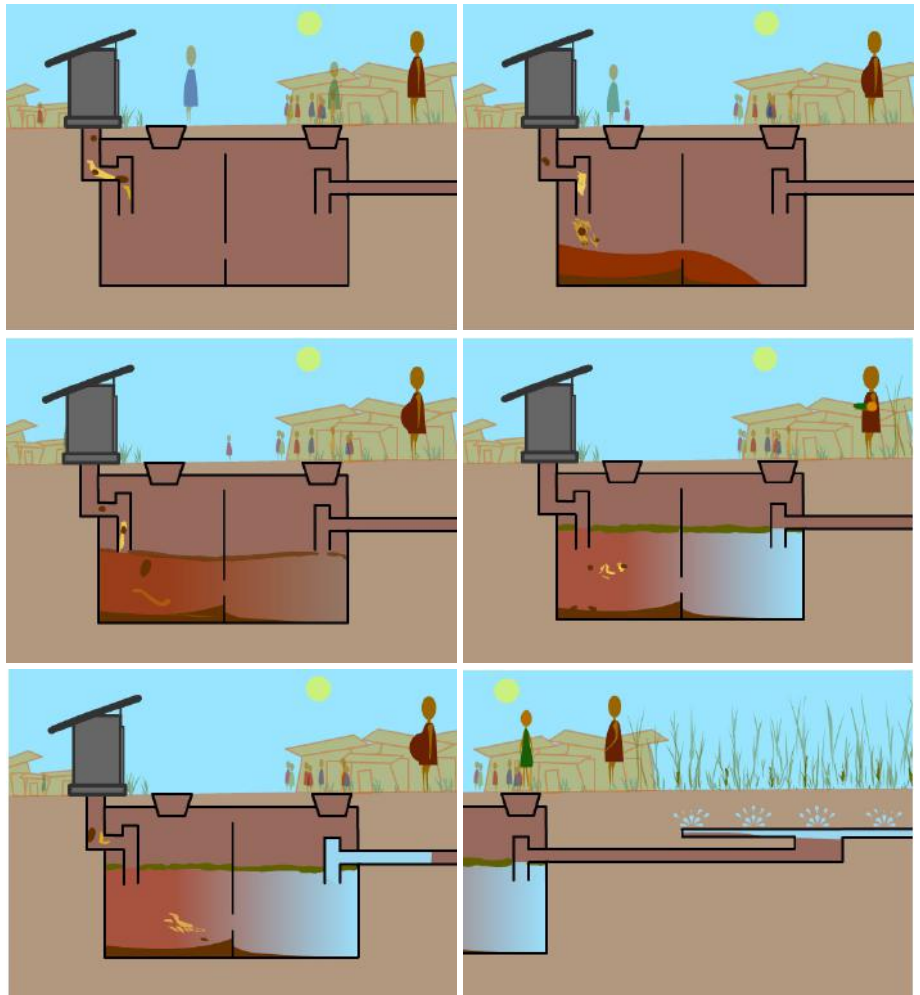


Figure 11. Diagrams created to act as user manual, explaining to users how the Septic system works. Source. Healthabitat (2016)

“The way I work should remain constant - whether it’s for a client in a village in Nepal, or an aboriginal family in the centre of Australia or a corporate client in Sydney - I hope the level of skill and expertise is the same. I think that’s the core.” Paul Pholeros, Director Healthabitat. Source. Charlesworth,E. (2014)



Figure 12. Toilets in use by inhabitants. Source. Healthabitat (2016)



Figure 13. Explanation of system to locals through drawings and workshop Source. Healthabitat (2016)

DESCRIPTION OF PRACTICE/ PROJECT

Healthabitat is a collaborative organisation of community members who were ultimately set up with the aim to stop people becoming ill. They are a multidisciplinary practice with architects, doctors, anthropologists who are engaged with several forms of work including: project planning, training, testing and fixing houses and liaising with householders in their own language about the aims and methods of the program. Their methodology is designed to work with communities to improve the health of people, particularly children aged 0-5 as these are crucial years in a child's development.

Their work on the Nepal Sanitation Program included helping develop toilet provision for a village of 600 people. The team developed a solution which utilised local materials and building techniques familiar to the locals and introduced 103 new toilets which were used by 1000 people. The skilled plumbers that they trained are now training men in neighbouring villages to ensure that the program continues.

Whilst constructing the toilets, they realised there was a huge problem with the cooking fuel the families in the village were using as it filled their dwellings with smoke and was resulting in the inhabitants having respiratory problems. The team therefore responded to this problem and introduced a biogas system which utilised animal and human waste to collect methane. This now provides 3-4 hours of free fuel daily for families, drastically improving their living conditions.

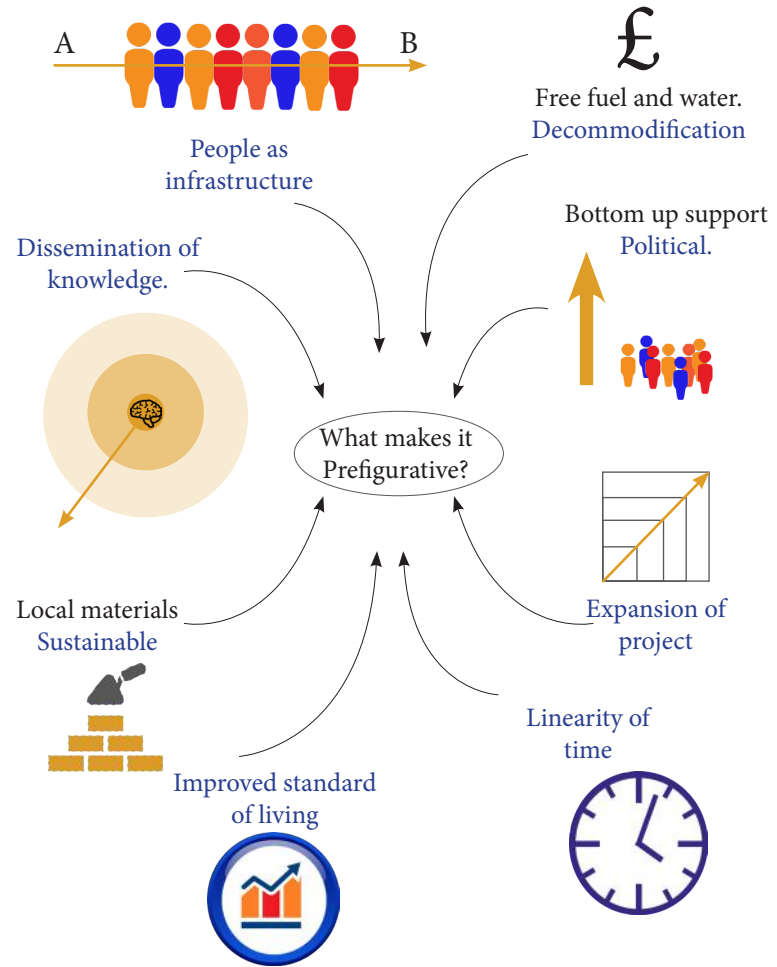
The team also introduced water collection facilities which now contribute to the families' essential daily supply.



Figure 14. Source. Healthabitat (2016)



Figure 15. Design and in use sanitation facility. Source. Healthabitat (2016)



ANALYSIS OF PREFIGURATIVE METHODS

'The project focuses on the dissemination of knowledge through the community to ensure better health opportunities for all residents. The foreword discusses the value of the dissemination of knowledge and for the locals effected by this program, it is crucial to its success. By teaching a local team of plumbers and builders the basic skills required for the construction of the toilets, they are empowered to improve their own village, removing the need for top-down intervention. The trained team then become part of the infrastructure for the expansion of the project into other villages as they begin educating each other. Simone introduces the idea of people as infrastructure to Prefigurative theory and this project demonstrates the potential that people have to improving their own day-to-day situation without the need of waiting for government intervention.

Mentioning the theory of Foucault, the foreword discusses the relationship between power and knowledge. In this project however there appears to be a more pressing correlation between knowledge and health. Through the dissemination of the knowledge the program offers a huge improvement in terms of the standard of living of the inhabitants. The foreword states “..everyone is entitled to their basic rights irrespective of their social standing” and the intervention allows the people at the lower end of the spectrum better opportunities in terms of life expectancy and health.

The use of local, familiar materials chosen by the design team aids the project as it reduces the barriers to the construction. The format of the project proposes a divergence from traditional building practice and advocates a sustainable, cost-effective system. Healthabita also try to initiate change on day one of their projects. They believe that

this builds up trust between the inhabitant and the workforce and is vital to a successful project. Linking to Prefigurative thinking, this shows that the intervention is affecting the villages from the outset of the project, the improvements are always happening now.

The practice is a not-for-profit organisation however they received substantial funding from WorldSkills Foundation, IAPMO, World Plumbing Council and RMIT for the sanitation project. The project however has elements of decommodification attached to it. The production of cooking fuel is a free bi-product from the human and animal waste. The collection of rainwater is also a decommodified product for the families within the village to utilise. The service provided to the locals is free and they work voluntarily for their community to develop the sanitation facilities they require.

One of the key characteristics of the practice is that they are not always set on designing a building. This links to the theory proposed by Till and Schneider which says an invisible intervention can have a visible spatial solution. Within this project, the teaching of the inhabitants is an invisible intervention which is having a huge impact on how the locals live. The production of the toilets is also a structure of very little architectural significance, however it is providing the users with many benefits which links it back to Prefigurative Architecture.

“The house can keep people warm in the most severe weather and help them control activities in the future, also contributing to ecological development as well as economic stabilisation.” H & P Architects. Source. Davis,A. (2013)

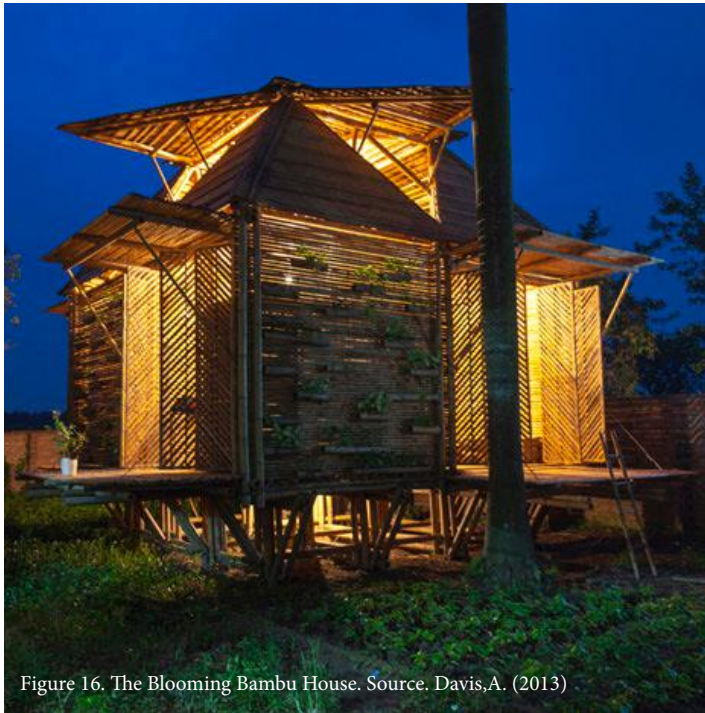


Figure 16. The Blooming Bambu House. Source. Davis,A. (2013)

PRACTICE PROFILE

Name - H & P Architects

Founded - 2009

Location - Vietnam

Key Characteristics/Beliefs

- Goal: to provide professional solutions to customers of the highest quality as well as economic efficiency
- Behaviour: making the personal lives and communities adapt not only to preserve but develop
- Language: architecture to provide a social psychology ahead of predicted time for a transformation in the future.
- Mind: The mind swirled with behaviour and language supporting beyond an organic unity in the reality of social life

PROJECT

Name - Blooming Bambu House

Location - Ha Noi Vietnam

Date - 2013

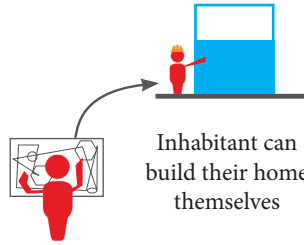
Typology - Residential

Key Characteristics

- Withstand floods up to 3m in an area which natural phenomena are severe and various: storms, floods, landslides and drought
- Local, affordable materials - each unit costs \$2500
- Inhabitant can build the house themselves in as little as 25 days
- Flexible, adaptable space which can be used for multi-functions
- Natural ventilation and key considerations into the varying climates the structure and inhabitants will face year round
- Vernacular aesthetic



Shelter as human right



Inhabitant can build their home themselves



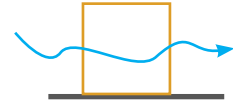
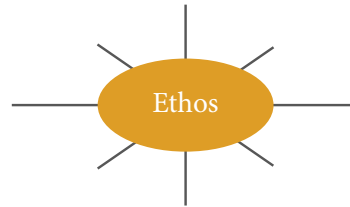
Architecture pre-emptive of disaster



Affordable



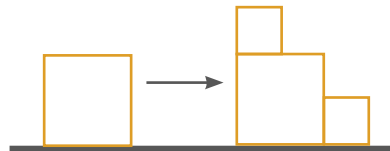
Local materials, familar building techniques



Natural Ventilation an sustainable systems



Quick to build



Flexible, adaptable structure for user and function



Buildability

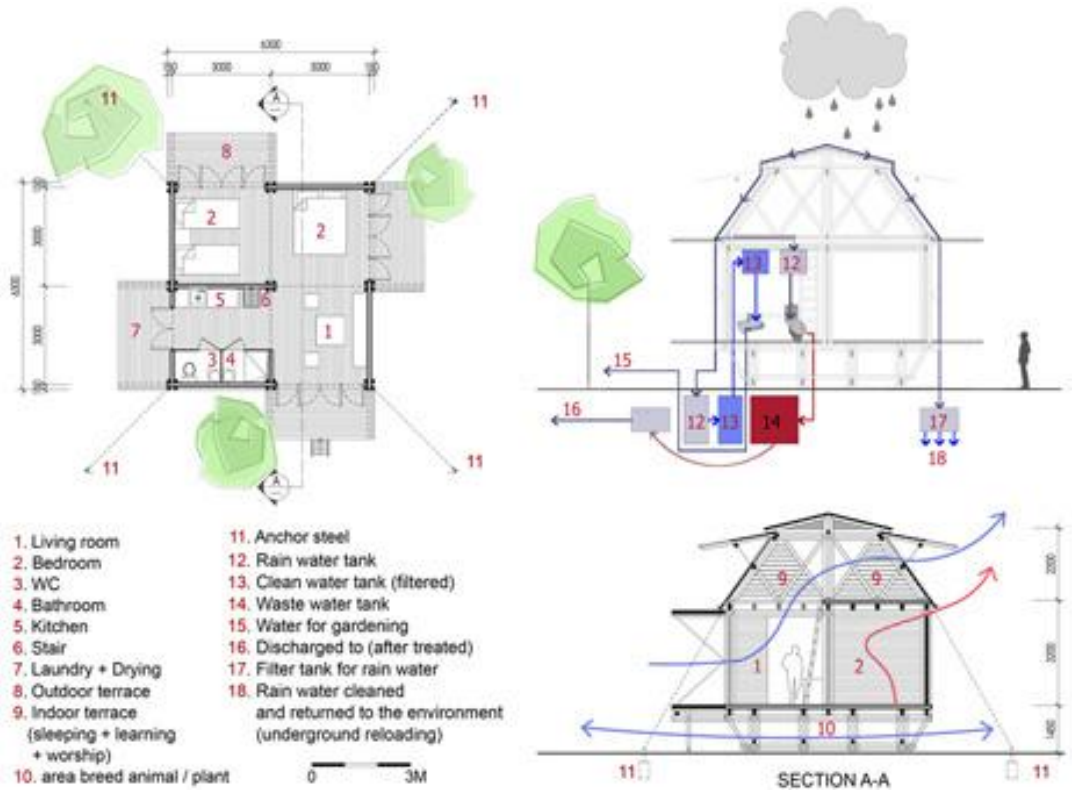


Figure 17. Drawings of Blooming Bambu House. Source. Davis,A. (2013)



Figure 18. Internal space upper floor. Source. Davis,A. (2013)



Figure 19. Internal Space ground floor. Source. Davis,A. (2013)

DESCRIPTION

H & P Architects work on various projects across a range of typologies and scales. For the purpose of this booklet I will focus on this one project as the style in which they work varies across their portfolio.

Working in the context of Vietnam, the practice have recognised the frequency of natural phenomena and have developed the blooming bamboo home as a prototype to help minimise the damage which is inflicted on structures in the area due to natural incidents. The house is built mainly from bamboo which is a plentiful natural resource in the area, raised on stilts to elevate it away from potential flood water. The amount of damage inflicted yearly limits an areas development as the community loses valuable assets which must be replaced before they can improve. The provision of a prototype structure which can resist this damage has the potential to provide economic stabilisation to the community.

The nature of the structure ensures that locals can build it for themselves as it is affordable, utilises simple, familiar building techniques and it can be constructed quickly; 25 days in total. It also means that it is flexible, both in terms of function; it is designed as a house but could be used as a classroom, medical facility or a community centre, and adaptability; the construction system allows extra areas to be attached on if expansion is required.

The house is also naturally ventilating, and can be modified dependant on weather conditions and varying local climates ensuring a decent standard of living for the inhabitants.

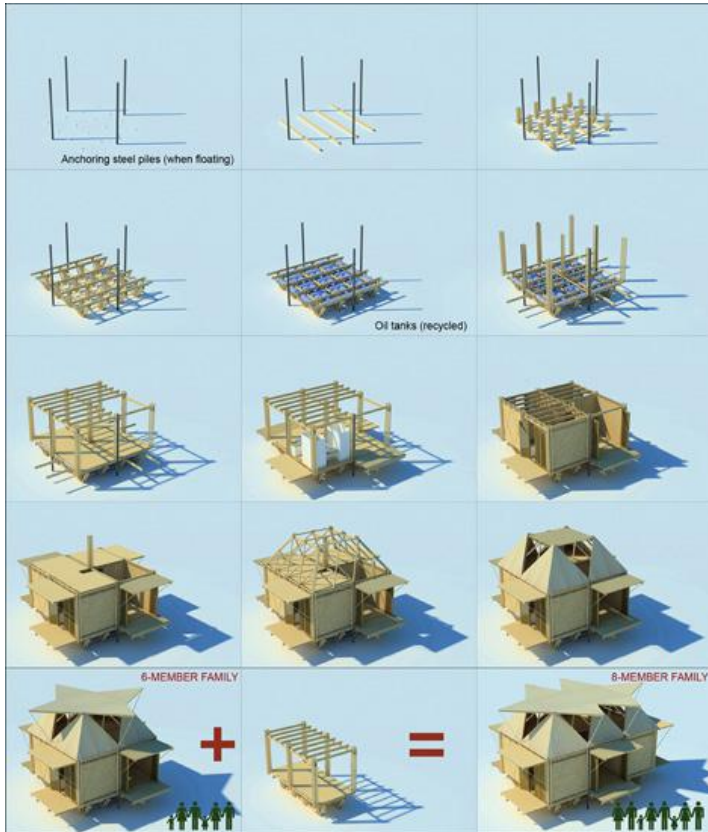
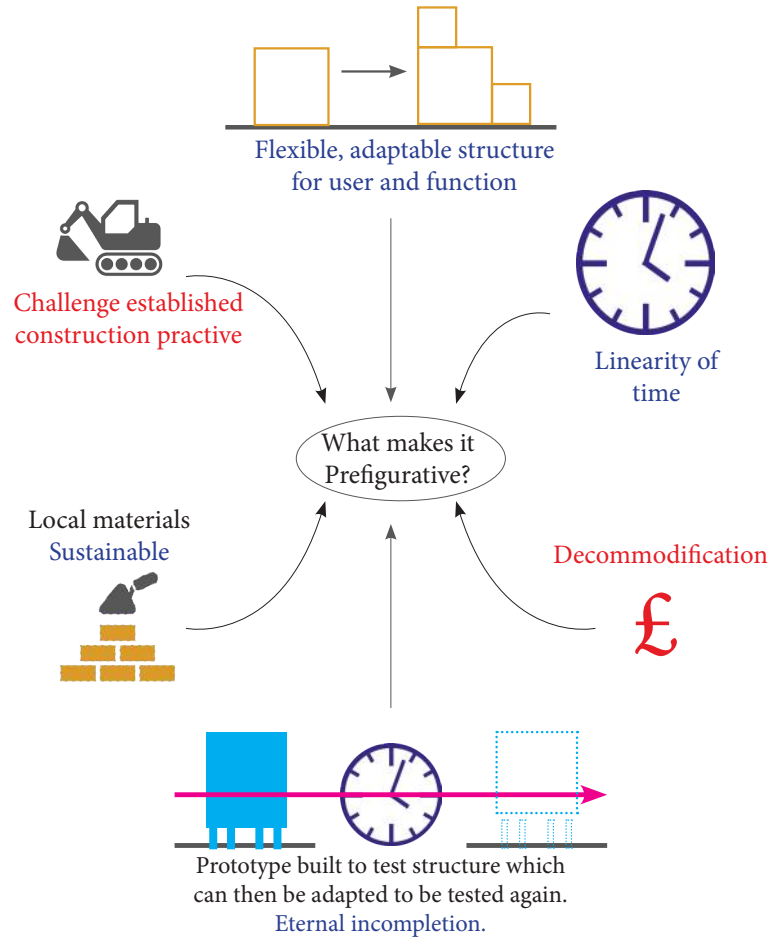


Figure 20. Construction Diagrams. Source. Davis,A. (2013)
 PREFIGURATIVE ARCHITECTURES | PROJECT BOOKLET



ANALYSIS

The main element of this design which makes it a piece of Prefigurative Architecture is the linearity of time that is evident in the process. The foreword states “the present is considered as a field of actualisation and the future is not decoupled from this.” The project acts in the present to pre-empt damage in the future. Despite this being a common problem in the area, as it is not a reaction to damage, it is attempting a solution which can be tested, developed and reintroduced with improvements following the next natural phenomena. The utilisation of local materials and techniques familiar to the community ensures that the process of construction can be developed until the most appropriate, successful structure is realised. As discussed in the foreword Prefigurative Architecture is never complete, the learning and developing process helps develop the next iteration of the design, and so on.

The flexibility and adaptability of the project also support Prefigurative Theory. Till and Schneider discuss the value of a flexible design in their paper ‘Flexible Housing: opportunities and limits (2005), and propose two variations of flexibility, designed for choice which includes social use and construction, or designed for change, both of which are apparent in the Blooming Bambu House. Adaptability allows user participation during the design process which in reference to which Till and Schneider reference Herzberger who regards an architect as someone who can provide the platform to which users can “make their own markings and identifications, in such a way that it can be appropriated and annexed by all as a place that truly ‘belongs’ to them”. Till and Schneider also views flexible housing as a more economic decision in the long term. This links to the decommodification of housing as the adaptability ensures

users can stay in their homes for longer, despite their changing circumstances, which otherwise would have seen them move. The ability to adapt the home shows an increase in the use value of the property as opposed to the exchange value as the architect empowers the resident to adapt their home to fit their situation.

In contrast to Prefiguration, the architectural process here is not proposing a decommodified social structure. Instead it is proposing a mechanism to stabilise the economy and allow it to grow. This promotion of commodification contradicts the argument for the decommodification of housing made by Maden and Marcuse and Kropotkin who regards capitalism as the route of poverty.

The proposal also does not challenge established construction practices which the foreword highlights as an act of Prefiguration. It follows traditional construction routes however the technology used for the design allows the user to construct the building themselves and in doing so reduces the cost of the project.

DESIGN CORPS

The mission: “Create positive change in traditionally underserved communities by using design, advocacy and education to help them shape their environment and address their social, economic and environmental challenges.” Source. Design Corps (2016)



Figure 21. The Water harvesting and community garden in Peru which won the SEED prize in 2014. Source. Quirk,V. (2014)

PRACTICE PROFILE

Name - Design Corps

Founded - 1999

Location - Raleigh, North Carolina

Key Characteristics/Beliefs

- Does not provide architectural services it is a non-profit organisation
- All communities and individuals should be involved in the design decisions that affect them
- There should be a quality of design in all projects
- Needs driven practice rather than client driven
- Educating young professionals in key principles which are lacking in formal architectural education (Public Interested Design + SEED Evaluator)
- Universal right to live in a socially economically and environmentally healthy community

PROJECT

Name - Comunidad Ecologica Saludable

Location - Lima, Peru

Date - 2010 - 2014

Typology - Water Harvesting, Community Garden and Land Cultivation

Key Characteristics

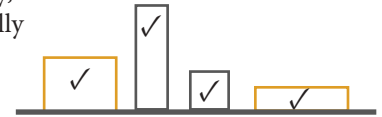
- SEED Winner 2014
- Converts fog into a valuable water resource to help cultivate food
- Create a community garden which becomes a valuable social space
- Improves the quality of life of residents in the urban community



Not an architecture practice



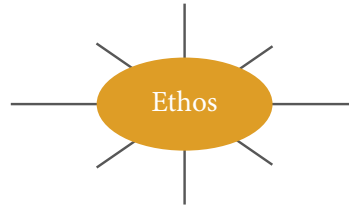
Universal right to live in a socially, economically and environmentally healthy community



Quality design on all projects



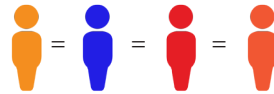
Educates architectural professionals



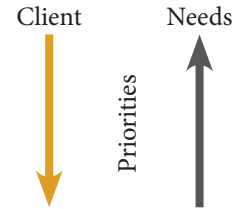
Sustainability + conservation of resources



Community involved throughout design process



Social Equality



Needs driven design not client driven

“SEED goes beyond green design with a triple bottom line approach that accounts for social, economic and environmental impact” Source. Public Interest Design (2015)

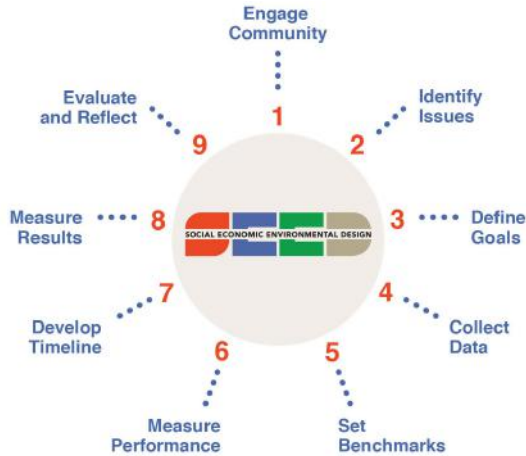
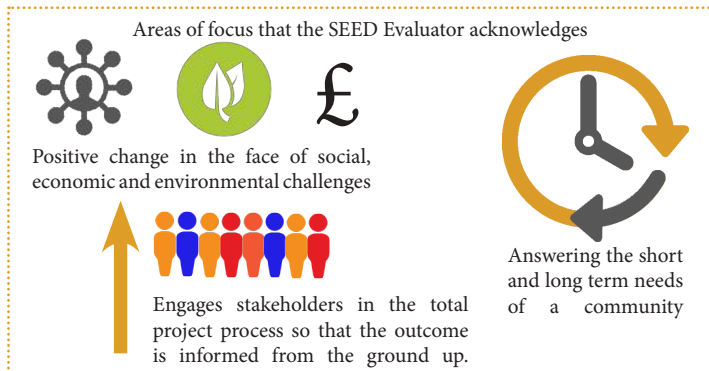


Figure 22. Nine Steps of the SEED Process. Source. Design Corps (2016)



DESCRIPTION OF SEED EVALUATOR (SOCIAL ECONOMIC ENVIRONMENTAL DESIGN)

SEED Evaluator

Provides an online guideline for designers who want a common standard to guide, measure, evaluate and certify the local, social, economic and environmental impact of design projects.

Source. Design Corps (2016)

SEED Mission

Everyone should be able to live in a socially economically and environmentally healthy community. Source. Bell,B. (2013)

SEED Principals

1. Advocate with those who have a limited voice in public life
2. Build structures for inclusion that engage stakeholders and allow communities to make decisions
3. Promote social equality through discourse that reflects a range of values and social identities
4. Generate ideas that grow from place and build local capacity
5. Design to help conserve resources and minimize waste.

Source. Bell,B. (2013)

SEED Information

Tool to promote communication between design teams and communities to define goals based on triple bottom line considerations to allow multiple problems to be addressed within one viable project.

SEED Certification

Project certification by an independent third party who determines that the project is in keeping with SEED mission and principles. Design Corps (2016)

“ Promote and celebrate the idea that design matters and all people can shape their world for the better through design.” Source. Design Corps (2016)



Figure 23. Lecture at Structures for Inclusion. Source. The Center for urban pedagogy (2011)



Figure 24. Stakeholders involved in Public Interest Design. Source. Epstein,B. (2012)

DESCRIPTION OF SFI (STRUCTURES FOR INCLUSION)

Structures for Inclusion

The SFI is an annual conference that seeks to bring together designers, activists, funders and policy makers to begin to address the most critical current design challenges we face globally. Hosted by Design Corps, the conference provides the platform to challenge participants to integrate positive change within their practices to stretch further than the green design movement towards a method which confronts the broader social and economic well-being of communities and cities. Source. Minner,K. (2011)

Structures for Inclusion Goal

To showcase design efforts that reach out to and serve a diverse clientele through design. Source. The New School. (2014)

Public Interest Design Institute

Design Corps is very keen to help educate young architectural professionals to teach critical community organisation skills as they critique the lack of user engagement encouraged through traditional architectural education. The Public Interest Design Institute is a training program which precedes the conference sponsored by the American Institute of Architects and follows SEED principals in order to help engage designers in key social, economic and sustainable global issues. Source. Design Life (2016)

SEED Design Awards

The winning recipients of the SEED Design Awards are featured in the SFI conference as key proponents in the conference experience.

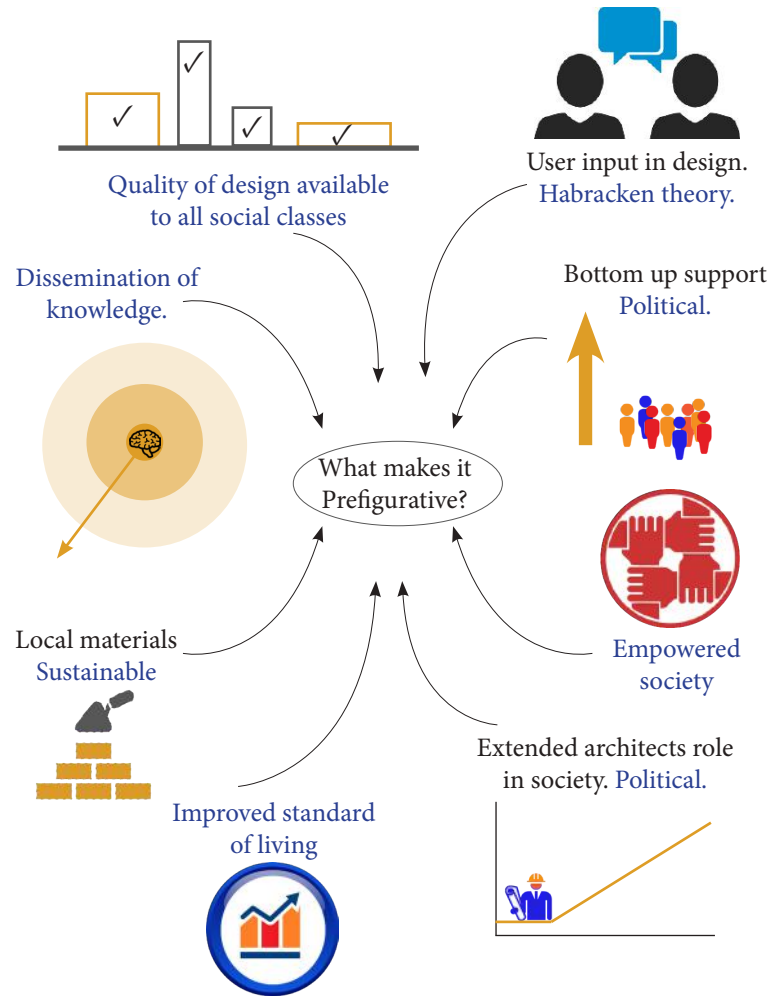
DESCRIPTION OF WINNING SEED PROJECT (2014)
Comunidad Ecologica Saludable

Within an informal urban settlement in the North of Lima, the project provides the community with an irrigation system to help cultivate food and plants in an area which has become a community garden. Lima is in the middle of the desert and has very little water, however after engaging with the community through workshops to identify priorities, the volunteer team developed a mechanism to extract the water from fog which would help provide the community with a green sociable community space that the residents longed for.

The project aimed to improve the quality of life of residents and the green spaces provide both mental health and well being benefits to the area as the plants clean the air of pollution, encourage wildlife and have become a symbol for change amongst residents. The final design was chosen by the residents in further workshops and now helps 29 families with food cultivation, community solidarity.



Figure 25. Proposed scheme. Source. Quirk,V. (2014)
 PREFIGURATIVE ARCHITECTURES | PROJECT BOOKLET



ANALYSIS

Design Corps is a multi-faceted non-profit organisation which ultimately makes a global political statement about the way we should be designing our buildings, communities and cities. In a lecture entitled 'Designing for the 98% without architects' (2000), Bryan Bell, founder of Design Corps, challenges the role of the architect in today's society. Stemming from this, Design Corps developed the Public Interest Design Institute which is a platform to education based on values which support a move towards a greater responsibility of the architect. Bell criticises the lack of community engagement incorporated within the architectural curriculum today which translates as a lack of community engagement in architectural projects. The Public Interest Design attempts to bridge the gap between the essential knowledge an architect requires in order to be able to deliver a successful project, and the actual knowledge a graduating architecture student retains. This dissemination of knowledge is slightly different to the other examples within this document however it has a similar effect, acting as infrastructure allowing people to communicate and help each other without the need of top down intervention. The architects and students have to pay to attend the Public Interest Design Institute, the commodification of which diverges from Prefigurative theory but the curriculum seeks to teach many values which also feature strongly within Prefigurative Architecture.

The interest in community engagement within architectural projects continues throughout all the different facets under Design Corps remit. The SEED evaluator strongly considers the value of user input within the design process and promotes interaction with all stakeholders continuously throughout the projects. In the same

lecture Bell critiques the lack of opportunity the underprivileged have in design input and Design Corps actively seeks to reduce the class divide and promote equality. Included within the ethos of Design Corps is the empowering of society through a bottom up approach which comes with user participation in design. Bell argues for a quality of design across all projects irrespective of the client. This removal of the power from the top by allowing communities to speak for themselves begins to return the right to the city to the user. This relates back to theory by Proudhon who discusses the principle that ownership is only true through use, and also the theory by Habraken who promotes user interaction in the design process.

In contradiction to Baudrillard who expresses concern with the way technological progress effects societal change, in the case study example which won the SEED prize in 2014, the technology introduced there improved the situation of the inhabitants. This suggests that taken out of the capitalist context that technology can have a positive impact on communities.

Design Corps is not an architectural practice yet the work it produces is helping to solve spatial problems around the globe. It promotes sustainable design and the conservation of resources which links with the Prefigurative theory proposed by Till and Schneider and engages with a needs driven program as opposed to a client driven one.

CONCLUSION

After analysing the five case studies in detail, it is clear that they all have an underlying political statement challenging the order of things in today's society. They each proposed a disruption of the norm in different ways however all use architecture in its political form. They all also appear to attempt to empower society, most of them through the integration of user participation in the design stages. This element was not highlighted as a key principle of Prefiguration in the foreword, however on reflection, its links to promoting bottom-up culture, the right to the city and flexible sustainable design highlight it as a key precursors to Prefigurative Architecture.

Comparing the case studies (see table on opposite page), it becomes clear that the projects do not engage with the decommodification as much as the foreword would suggest is crucial to a Prefigurative project. Almost all of them have elements of decommodification attached to their schemes however it is not a driving factor, and infact, two of the projects promote commodification. Most of the practices were non-profit organisations, however they received funding through large, multinational organisations which many theorists associated with Prefiguration believe are a large part of the problem linked to gentrification. This perhaps highlights the difficulty in today's society and particularly professional world, to separate commodification from our day-to-day lives.

Heathabitat appear to have delivered the strongest Prefigurative design out of the 5 case studies reviewed. This scheme is strong mainly due to the potential the dissemination of knowledge is offering the community in Kathmandu. It is stimulating a better quality of life, an empowerment of the society, a departure from traditional construction practices and is spreading throughout the region due to the people acting as infrastructure. The expansion potential is an area which all 5 case studies succeed in. All of the ideas and concepts linked to the practices have the ambition to grow and expand globally as they highlight different issues. This suggests an engagement with the principle that the same problems are being faced all around the world and it is within the architects remit to be able to effect spatial change in favour of new social ideals.

The only project which considers the benefits attached to flexibility is H & P Architects in their Bamboo house. Flexibility is promoted as a mechanism to the decommodification of society and this is perhaps why the other practices have neglected to include it within their design models.

The practices covered offered a wide range of typologies and scales, from all over the world and provided interesting differences between their focuses. One of the limits of this exercise was only reviewing one project from each of the practices. It is unclear whether the ethos which is described

	Design Corps	H & P Architects	Healthabitat	Architecture for Humanity	EXYZT
Architecture as Politics					
Decommodification					
Linearity of Time					
Moment of Disruption					
Q. Dynamics of construction practices					
Anarchist Principles					
Empowerment, right to the city					
Dissemination of knowledge					
People as Infrastructure					
User Integration in Design					
Flexibility					
Expansion					

Table of Prefigurative elements within case study examples.

by the practices, and features within these examples, run through the core of every design the practice produces.

To conclude, Prefiguration is an idea that is growing out of rising social problems evident globally. There is a multitude of architecture practices and other organisations that are attempting to help solve the problems, some of whom have been trying for a long time. However, the political element linked to Prefiguration is perhaps, I believe, the key to the undoing of these social crises. The political act has the potential to ultimately effect policy making, the top-down approach which has the power in today's society to effect change drastically. In my opinion an anarchist society is a long way off and until then the works of the designers and educators are doing on the ground to promote a return of a right to the city to the people is stimulating growth in the movement which may or may not eventually lead to the demise of our top down society. Bell proposed the question "Where are we to go from here?" (Bell,B. 2000) , a poignant question facing every person in society not just architects as he implied. Prefiguration is not limited to architects, designers and theorists, it must be embodied by the mass if the society is to being to repair itself. Everyone has the ability to affect their spatial surroundings and until we begin to advocate the way we want to live in the present it will always remain as a utopian view.

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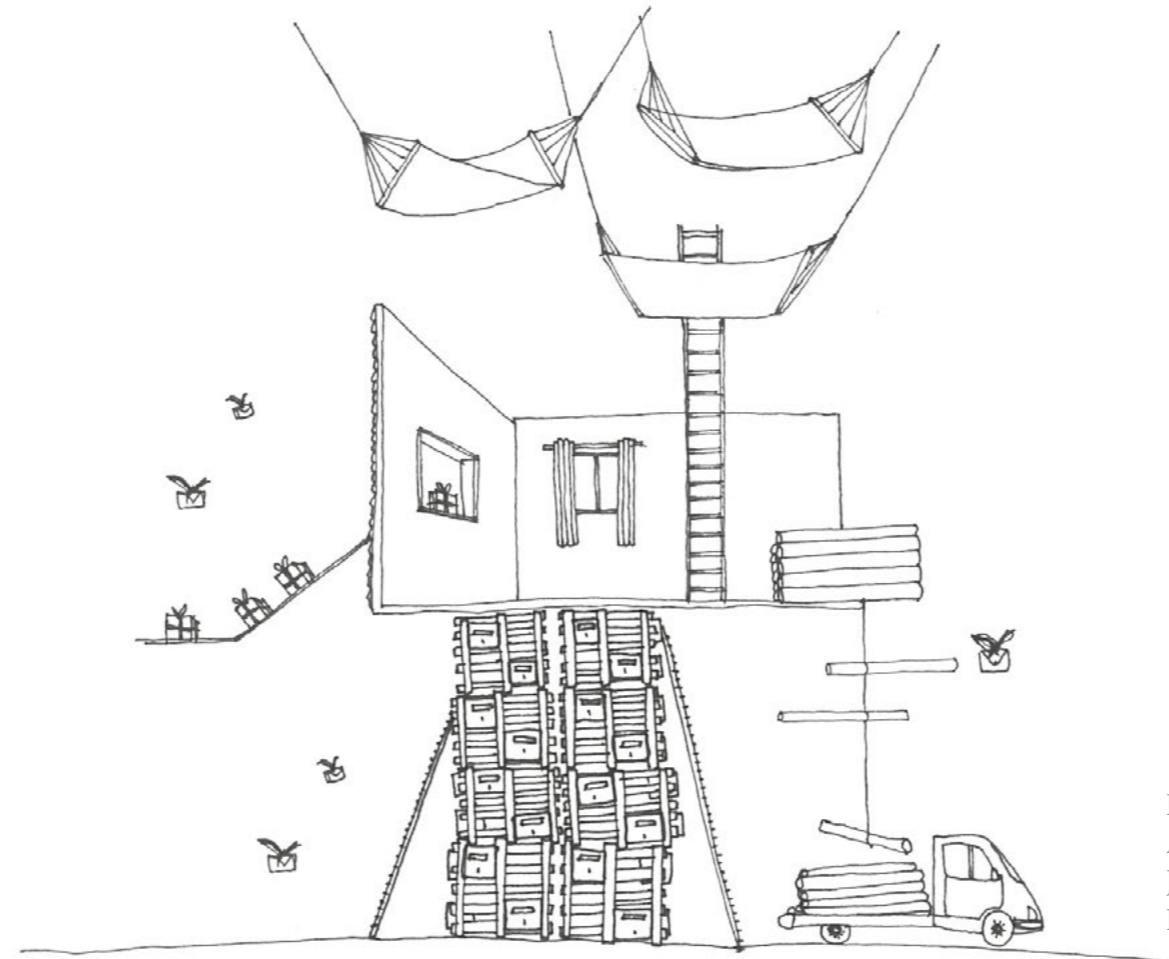
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Prefigurative Architecture

Welcome to all ... before we begin please leave your name and address at the door.



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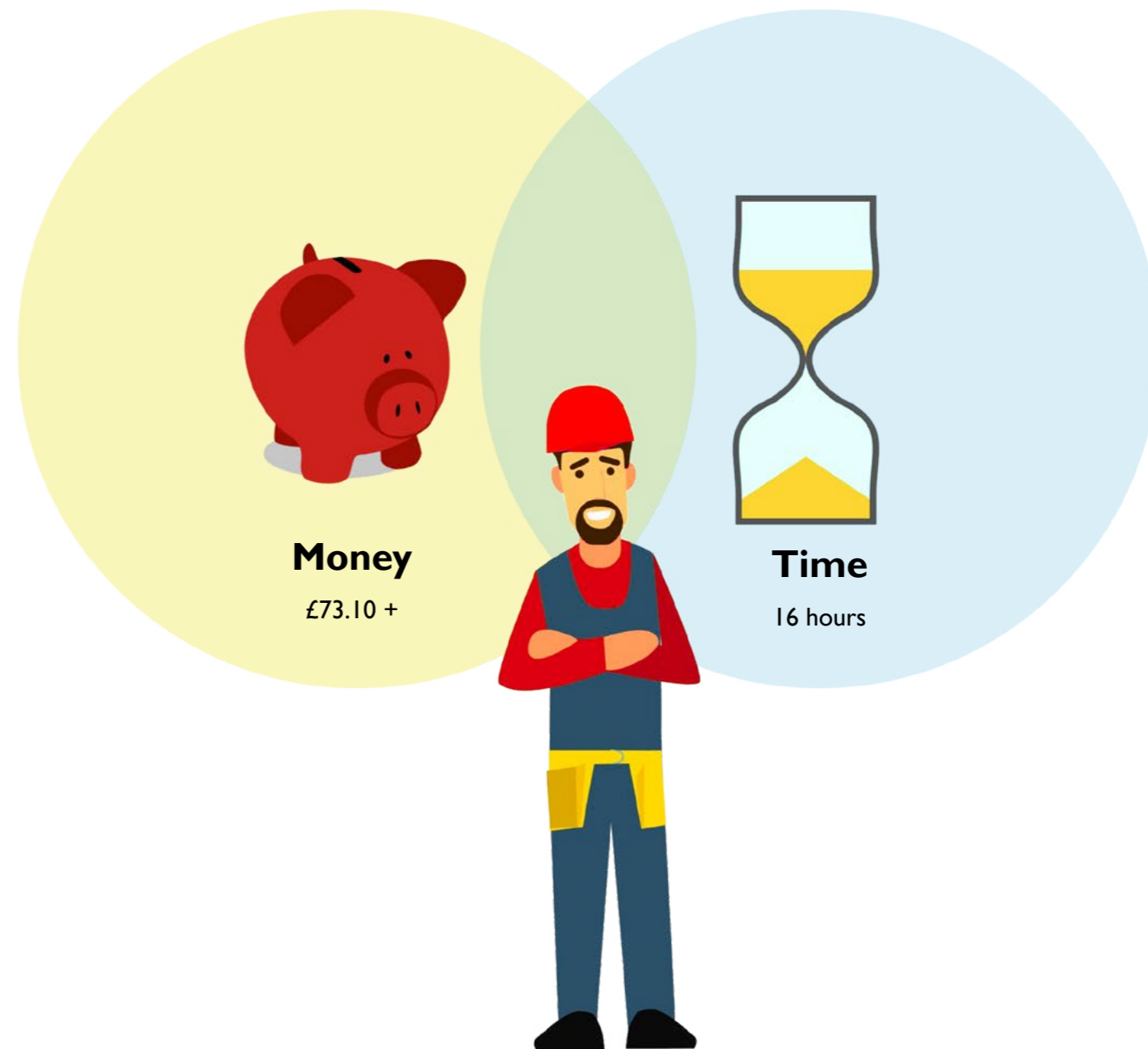
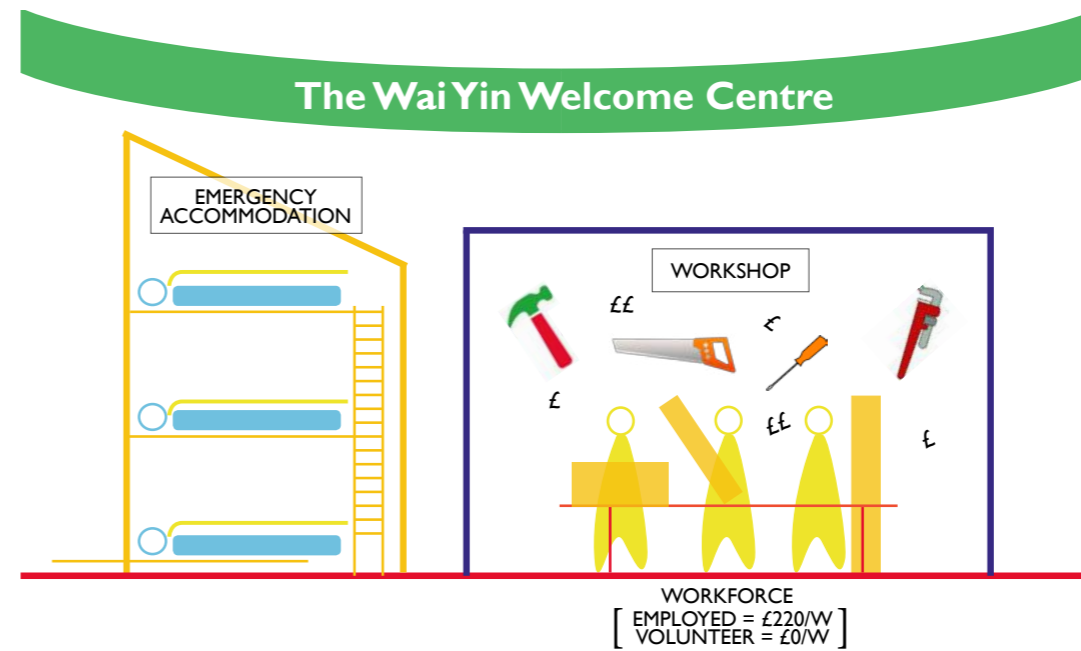
Shaping the Brief

[The Idea]

The Wai Yin Welcome centre in Cheetham Hill has expressed an interest in beginning to provide emergency accommodation for homeless people, the design of which was the initial intention of this project. The accommodation will be built within a workshop located at the Welcome centre.

When considering the practicality of the workshop, we spoke to Collete from North Manchester Work Clubs. She explained her concerns with targeting the voluntary labour required toward people who rely on Job Seekers Allowance. As the individuals need to demonstrate they are looking for work and are available to work in order to be eligible to claim, it was felt that the potential volunteers would not want to risk losing this support by volunteering full time in the workshop. This meant that approximately three full time workers would have to be employed by the centre to make the workshop functional. In order to match the financial provision of Job Seekers Allowance the workshop would have to generate £220/week to pay the wages of the three full time employees.

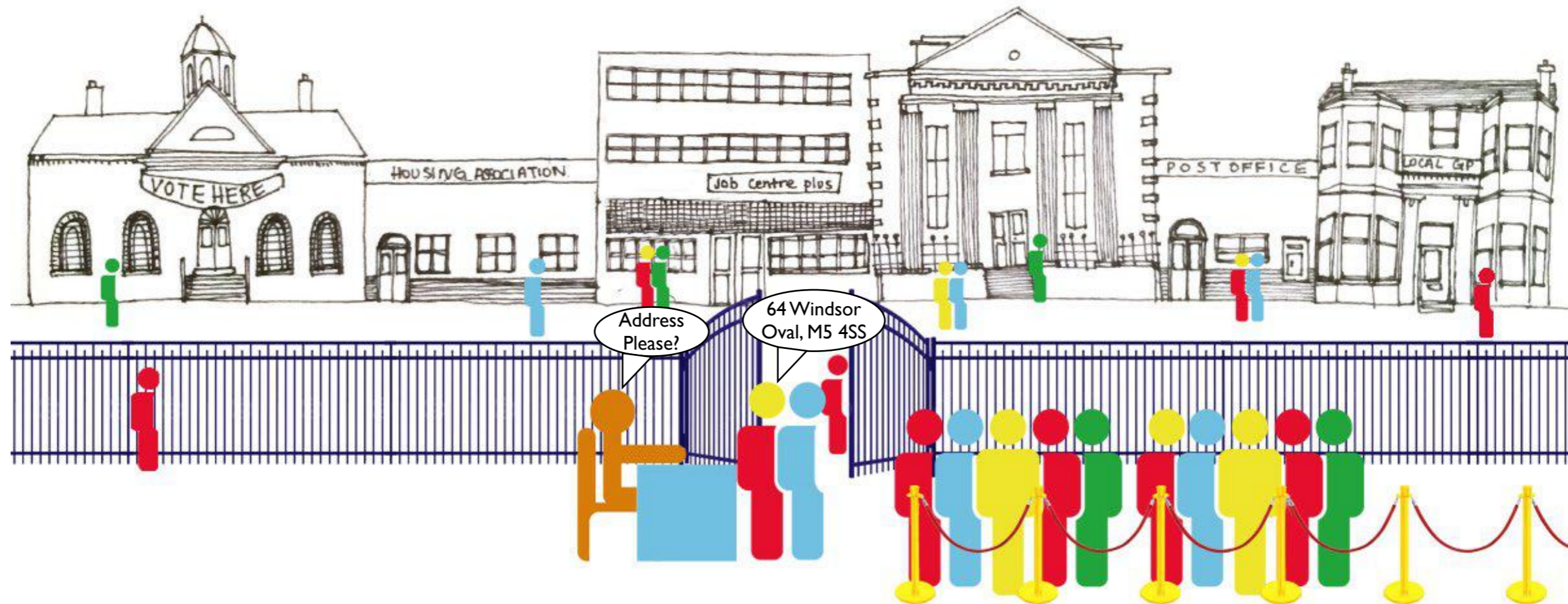
It is very unlikely that the workshop will be able to generate this level of capital on a week-by-week basis and therefore we realised the merits of this project lies in people who are currently unable to claim job seekers allowance. This provided the basis for the brief of the accommodation and the political concepts we were to challenge.



The Current System

[Universal Declaration of Human Rights - Article 25]

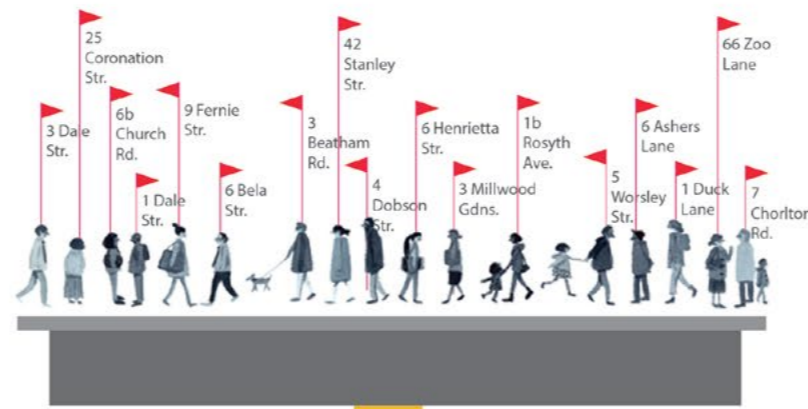
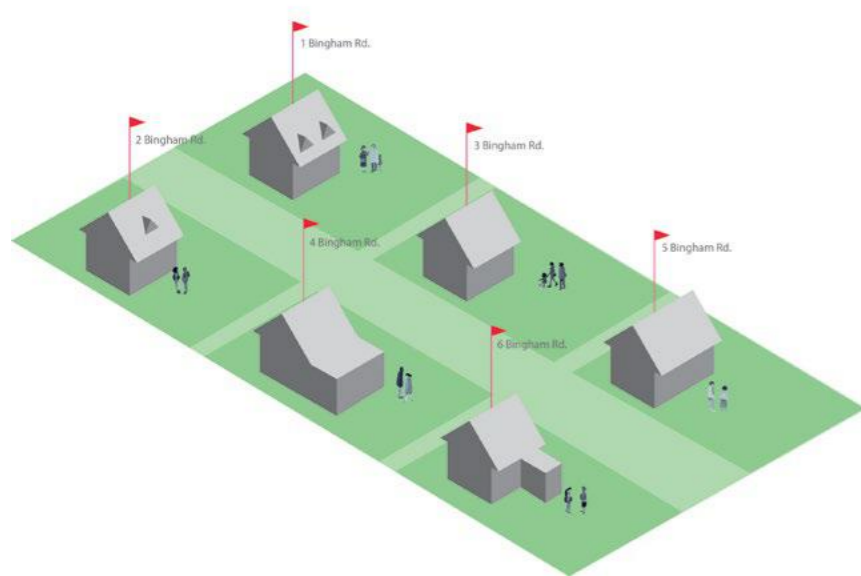
(I) Everyone has the right to a standard of living adequate for the health and well-being of himself and of his family, including food, clothing, housing and medical care and necessary social services, and the right to security in the event of unemployment, sickness, disability, widowhood, old age or other lack of livelihood in circumstances beyond his control. (UN, 1948)



[The Address]

The address in today's society is not simply used to identify where someone resides. The address opens up the possibility to the access of many services including bank accounts, the right to vote, public services and public support. To possess an address, and all that it is worth, currently you must have a property.

The Problem with the System



[commodification of housing]

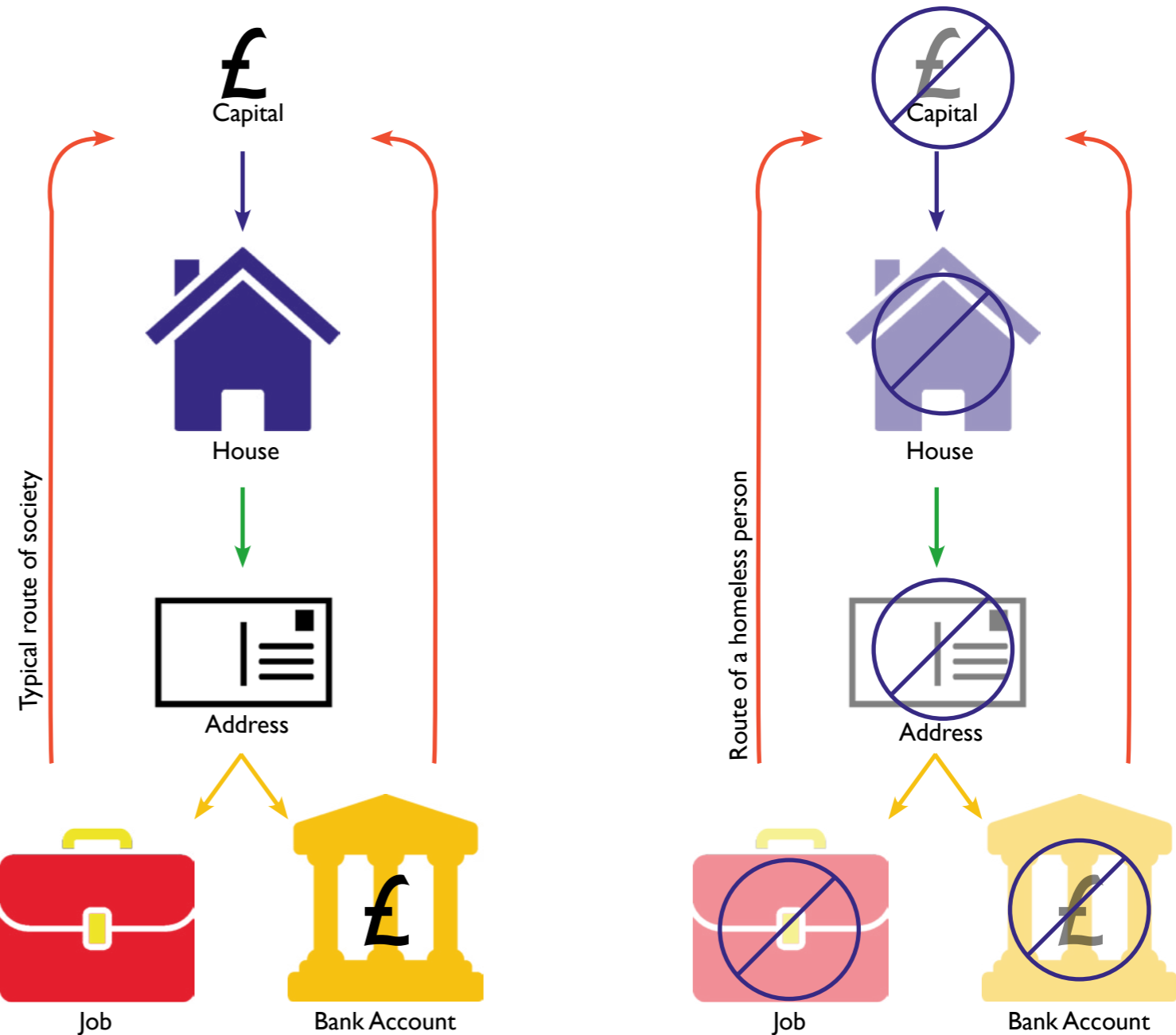
The direct association between property and an address becomes a problem when aligned with the commodification of housing. After research we have concluded that the exchange value of property in today's society far outweighs the value of use. Historically use value was more important as it focuses on our fundamental needs in terms of shelter. However in the UK over the last 40 years there has been a shift in the notion of value of property toward exchange. Due to this, house and rent prices have risen dramatically, and continue to do so, pushing more people into poverty. This problem is mirrored in every other urban corner of the world and so presents us with a global problem.

Use vs.. Exchange

The Impact of the Problem

There has been a 6 fold increase in homelessness in the UK since 2010

[Source: Mungos.org (2016)]



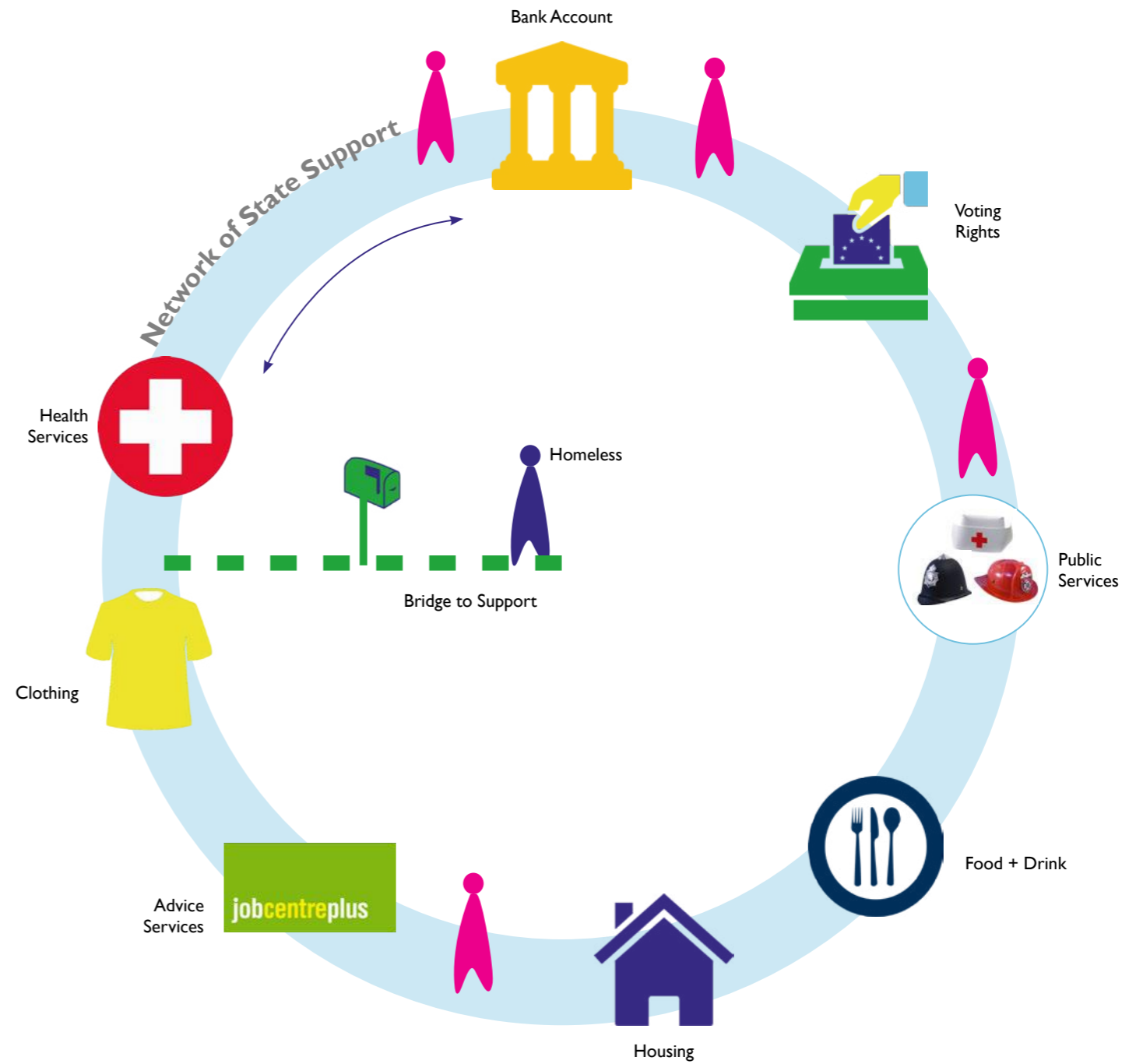
[increased homelessness]

This intensified commodification and crippling house and rent prices are resulting in massive deprivation of the population and an increase in homelessness as people can no longer afford to pay for their shelter. Once an individual is homeless, they no longer possess an address which allows them access to the support framework which forms part of their human right. This is catch 22. The individual finds themselves needing an address to be able to sign up for a bank account, apply for financial support from the state, apply for jobs. However they cannot have an address due to the current link between the address and the ownership of a property which they can't afford. We have found that the longer an individual is homeless the less likely they are to be able to get back on the ladder.

“It’s a catch 22, most of the guys on the street don’t have an address or money and you can’t get a house unless you’ve got a job and you can’t get a job unless you’ve got a house.”

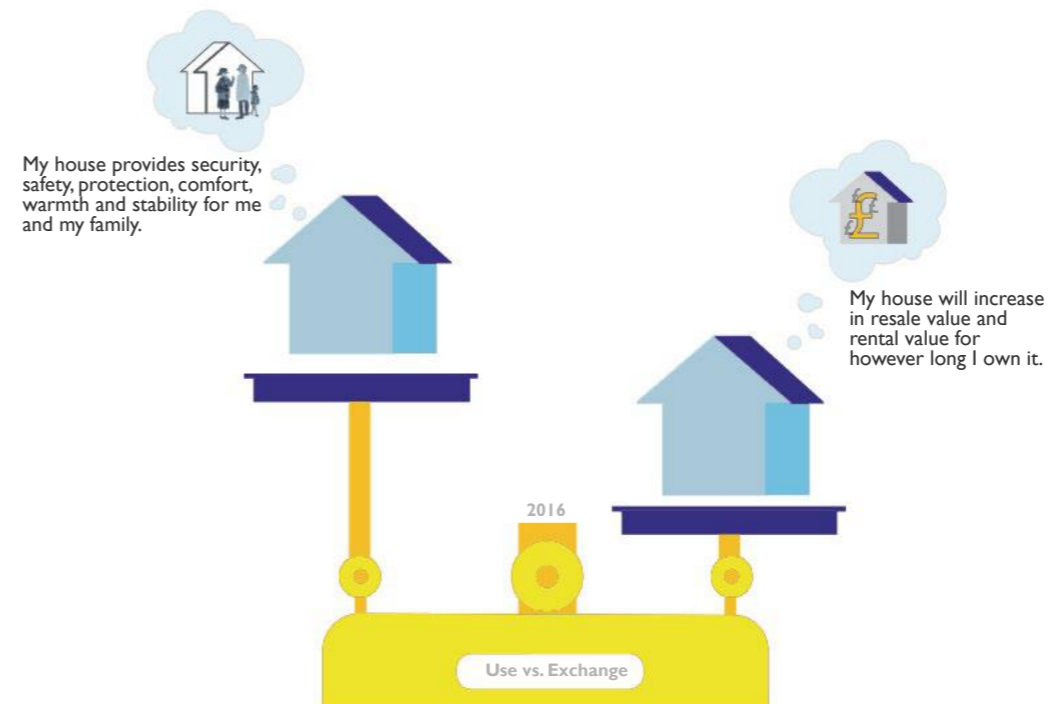
[Source: Cave.D (2016)]

Solution



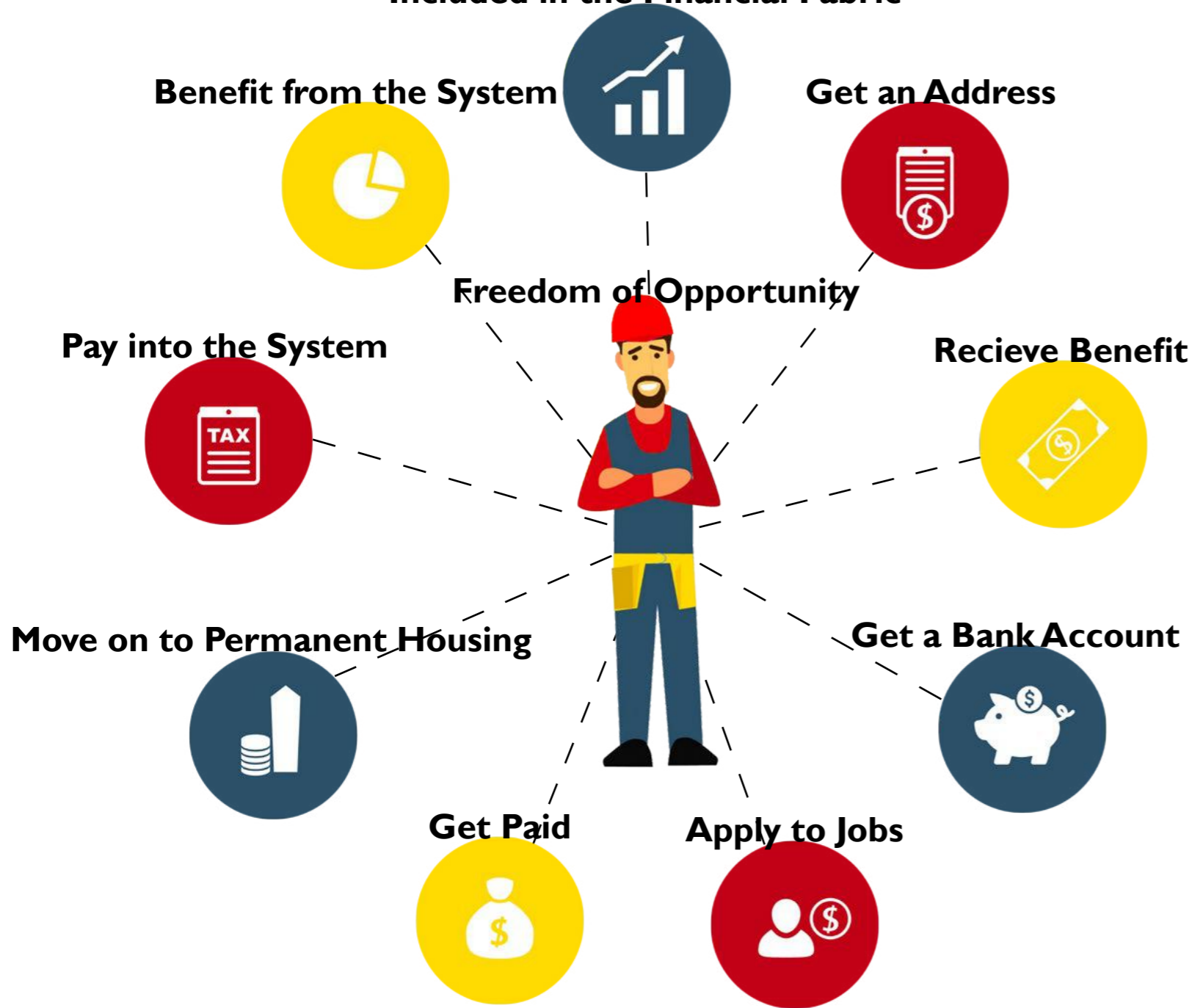
[providing the bridge]

We believe there is adequate support for the homeless provided by the state, however they cannot access it because the infrastructure to connect them to it is missing. Therefore our intervention primarily is targeted towards providing the bridge that allows access to this support, so that the homeless have the opportunity to get back into the security net. By providing the address in the form of a postbox this removes the need for the individual to own a property to be able to access the support. Once the address is provided the cycle of the catch 22 is broken.



Solution - Narrative

Included in the Financial Fabric

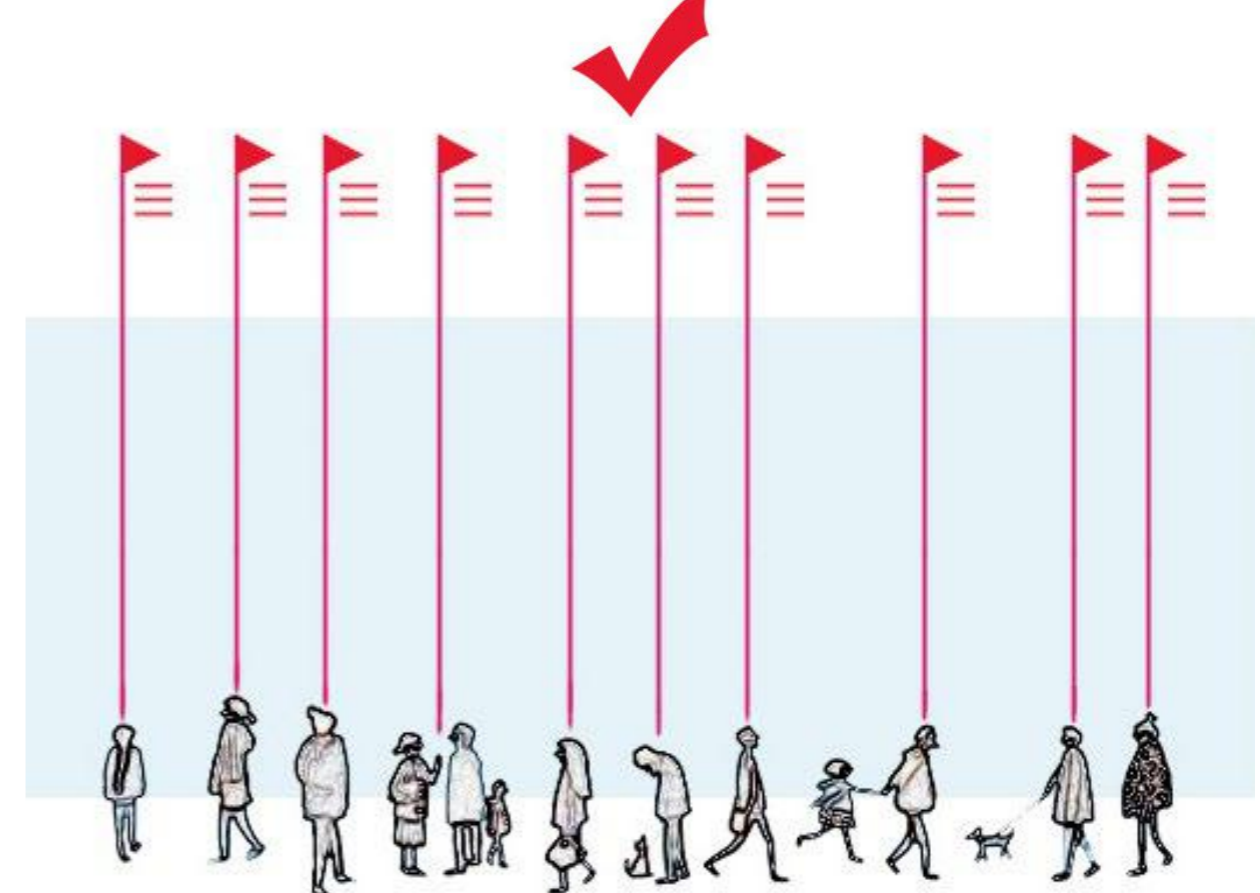


[Narrative]

Our narrative is two fold. Ultimately, we want to disrupt the notion that address is associated with land value and land ownership and associate it with the individual. The address should be an entitlement not a commodity. However, the narrative is also allowing our targeted audience of unprivileged, homeless people to return to civilisation and give them the capacity (the freedom to choose) to be included within the existing financial fabric.



Address provided by property



Address associated with person

Decommodifying the Address

Our Intervention will convey theory of decommodification because we are disassociating the concept of having an address with land value and land ownership.

We are saying that all people should be *entitled to an address*. This means that underprivileged individuals who are the aim of our project have an accessible framework in order to receive other specific rights that they are already entitled to but find it difficult to access.

Legislation

[How to claim]

“Before you start your claim:

You will be asked some questions for more detail about answers you will have already given. There are some personal questions, but this is a ‘secure’ website; your answers can only be read by staff dealing with your claim.

We will need to ask you some details about your circumstances and so you may need to have some personal documents to hand. If you have a partner you will require their documents too. Documents you may need include:

- wage slips
- **bank statements**
- details of any benefits and/or tax credits you may be in receipt of
- your National Insurance number
- **your tenancy agreement**
- self employed accounts

Now press ‘Next’ below to start your claim.”

[Nationwide need]

Proof of Identity: - you might already have ID?

- you can apply for but will delay the process of your application for housing.

Proof of Address: - Letter from a university or college.
(With a partnership of UoM and Catch 22, could this be possible?)

- Tenancy agreement from a housing association or a council.

(Catch 22 has potential to partner with established housing association such as Northwards Housing)

(right to vote) - UK council letter (must be less than 12 months old)

[National Insurance Number]

- you might already have one?

- you can apply for but will delay the process of your application for housing.

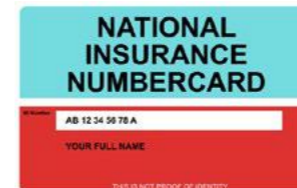
With a selection of the following
-passport or identity card

-residence permit

-birth or adoption certificate

-marriage or civil partnership certificate

-driving licence



Catch 22, with a partnership from Northwards or the University of Manchester register as a housing association.

After the ‘resident’ is accepted, a letter is sent to them stating their terms and conditions and requesting a signature.

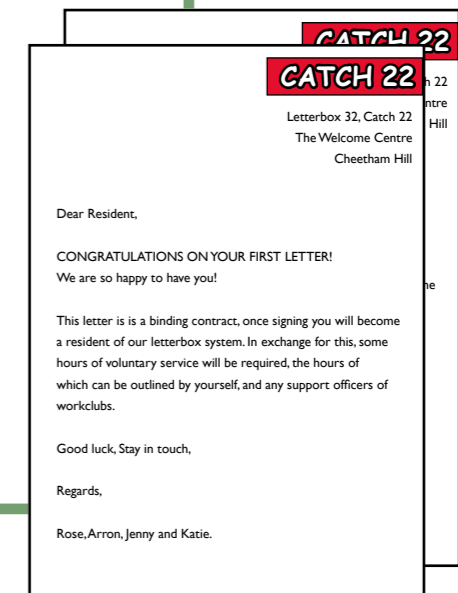
A confirmation letter congratulating them on their new residency!

[Conclusion]

The simplest solution might be to set up a contract for those to use who they are issued with a postbox. The format of this can be a resident permit issued by a company who has established a relationship with the project.

The best case scenario for this would be a housing association who acknowledges the project as beneficial to the system, otherwise an agreement can be established within the university.

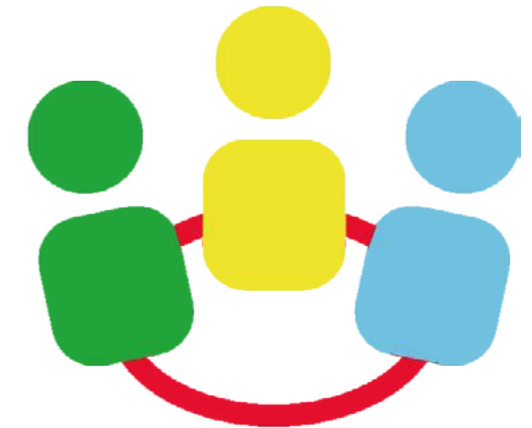
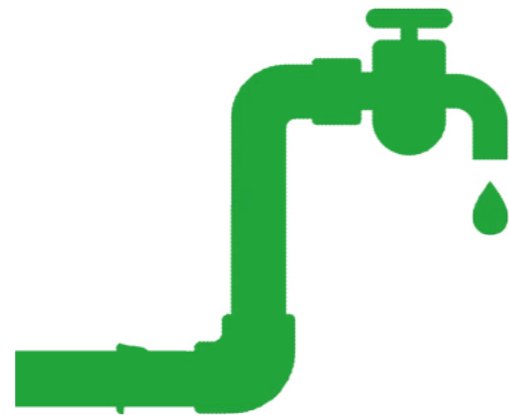
The contract can state the rent of this space (the letterbox) and the terms of use for it.



The Living Home Standard

42% of homes in Britain don't meet the Living Home Standard

(Source, Shelter 2016)



[affordability]

As more people are unable to buy their own property due to increased house prices, the amount of people renting increases. As local authorities have sold off their properties more people are pushed into private renting. Due to the increase in demand private landlords can push rent prices high.

[decent condition]

Due to the large demand landlords can let standards slip in houses because, due to the high demand, there will be someone else willing to take the property if the standards don't meet your standards.

[space]

High rental prices are causing overcrowding as people share to be able to afford accommodation.

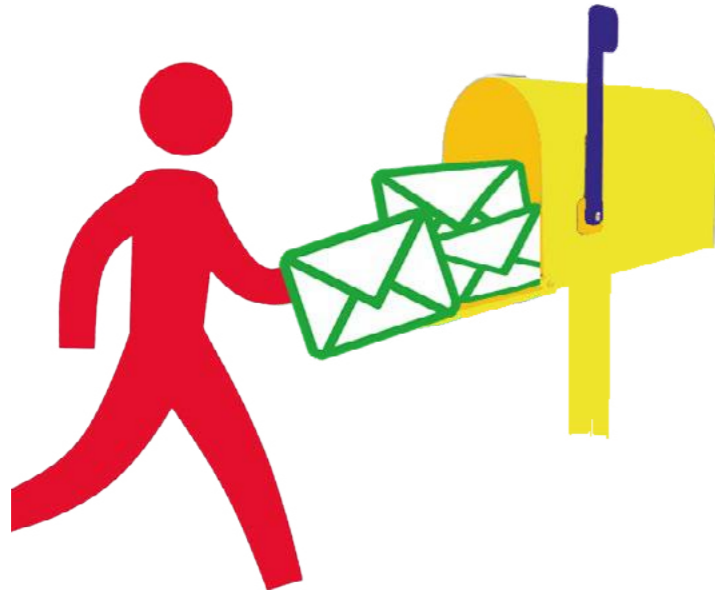
[stability]

Stability is low in private rented accommodation as landlords have the power to not extend contracts which are usually signed annually, resulting in people living in private rented accommodation living in their houses for on average 6 years less than socially rented accommodation.

[neighbourhood]

The lack of stability in private rented accommodation causes people to move around more which results in a community that is constantly changing, resulting in less community spirit.

Intervention



[the address]

The project begins with the postbox, the political statement depicting how policy has reduced someone in their moment of crisis to nothing more than an address. We have abstracted this to show that all is needed is a post box.



[the accommodation]

The project also provides emergency accommodation, These are not permanent spaces but provide relief for any body in desperate need. There are 8 sleeping spaces available and it is estimated that there will be a 3 month cycle of users.



[the workshop]

In the volunteers work to up-cycle furniture which is sold to generate capital for the project. They also develop household items which they can later take with them to make their house a home. The skills they learn in the workshop will also contribute to their CV and hopefully aid in getting them a job.

The Address

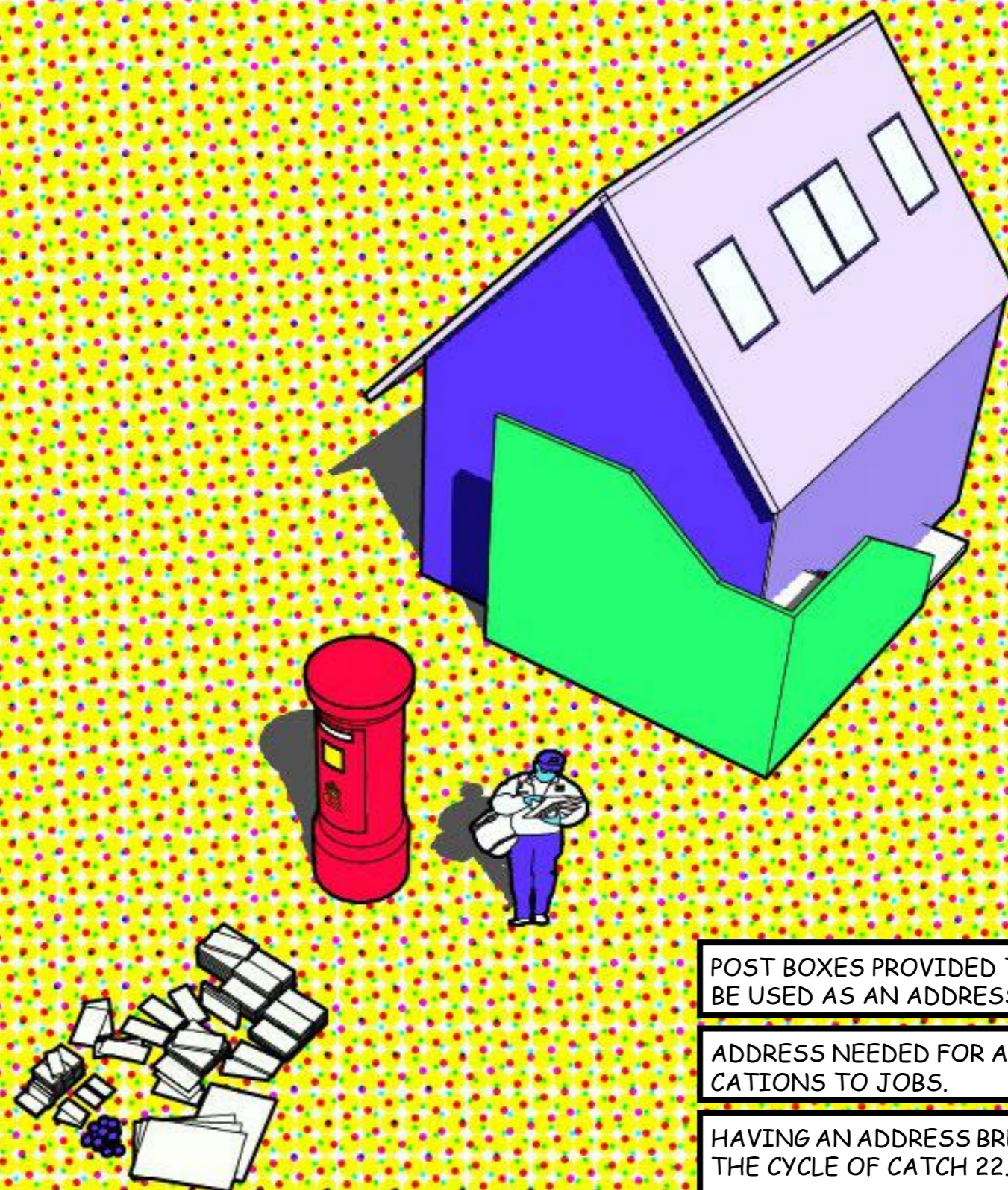
- Postbox as infrastructure to provision of address
- Estimated 3 month duration per user
- Address is essential for job applications, support applications, GP services, voting card
- Political statement of dissemination of the address

[the postbox]

The address has been highlighted as the critical infrastructure an individual needs to exercise their right to services. Individuals will be encouraged to sign-up for a postbox which they can use as a registered address for the duration they require it, however the estimated time frame is approximately 3 months. The address will allow the individual the opportunity to apply for jobs, make benefit applications, attend a GP if required, etc. and ultimately will help the homeless, who have fallen off the security net due to their lack of address, the opportunity to get back on it.

CATCH 22

CONSTRUCTION MANUAL - THE POSTBOXES



POST BOXES PROVIDED TO BE USED AS AN ADDRESS.

ADDRESS NEEDED FOR APPLICATIONS TO JOBS.

HAVING AN ADDRESS BREAKS THE CYCLE OF CATCH 22.

The Accommodation

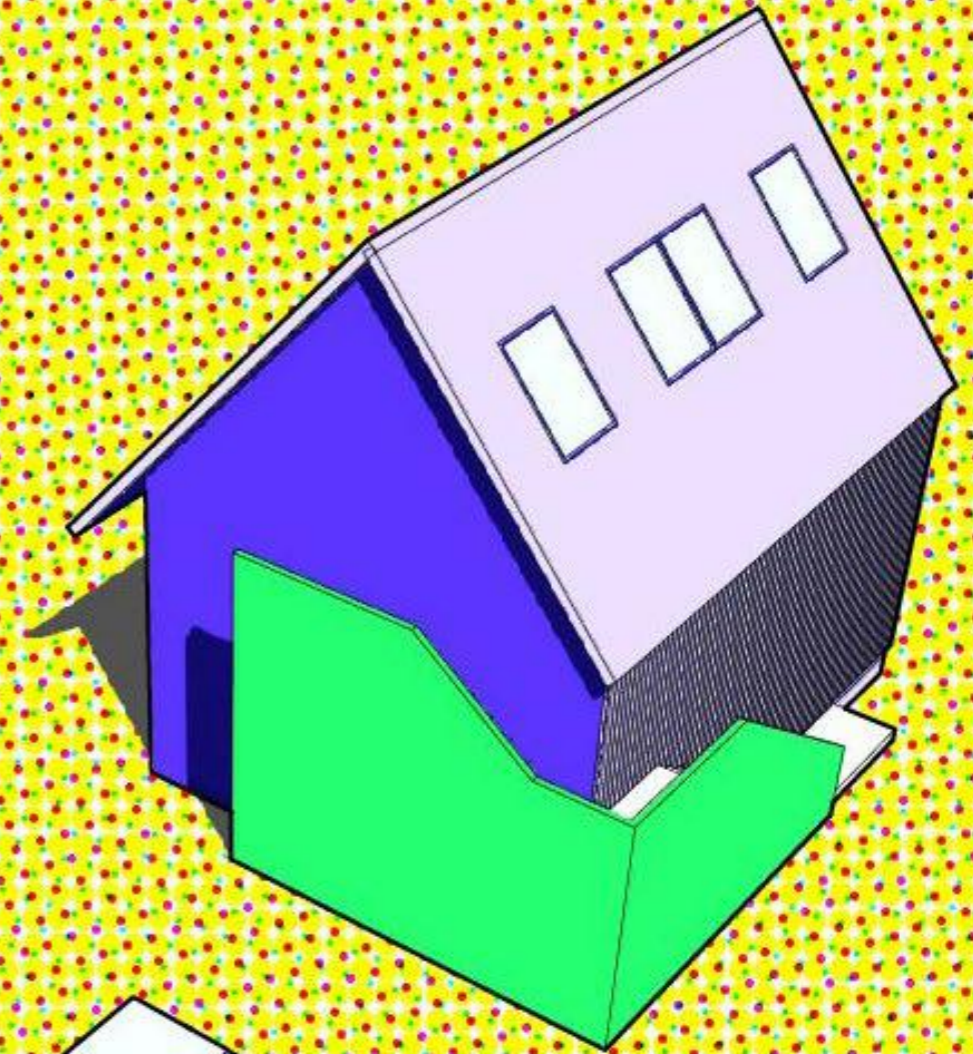
- Temporary accommodation for homeless if required (8 spaces available)
- Estimated 3 month duration per user
- Volunteer in workshop as payment for service
- Marcuse – decommodification of housing

[emergency beds]

The intervention offers homeless people the opportunity of somewhere to sleep. The emergency accommodation runs alongside the provision of the address and is offered on a temporary basis. We estimate that the average length of stay will be 3 months as this is approximately the time taken for applications for social support to become accepted/work to be found. The homeless individuals will live rent free, however will be expected to volunteer on-site throughout the duration of their stay. The individuals will have their own bed pods, of which 8 are available, and will share communal space.

CATCH 22

CONSTRUCTION MANUAL - THE SLEEPING POD



SHELTER PROVIDED FOR
ROUGH SLEEPERS.

VOLUNTEER IN WORKSHOP
USED AS PAYMENT FOR RENT

EMPHASIS INCREASED ON
THE USE VALUE OF SHELTER

The Workshop - Product

CATCH 22

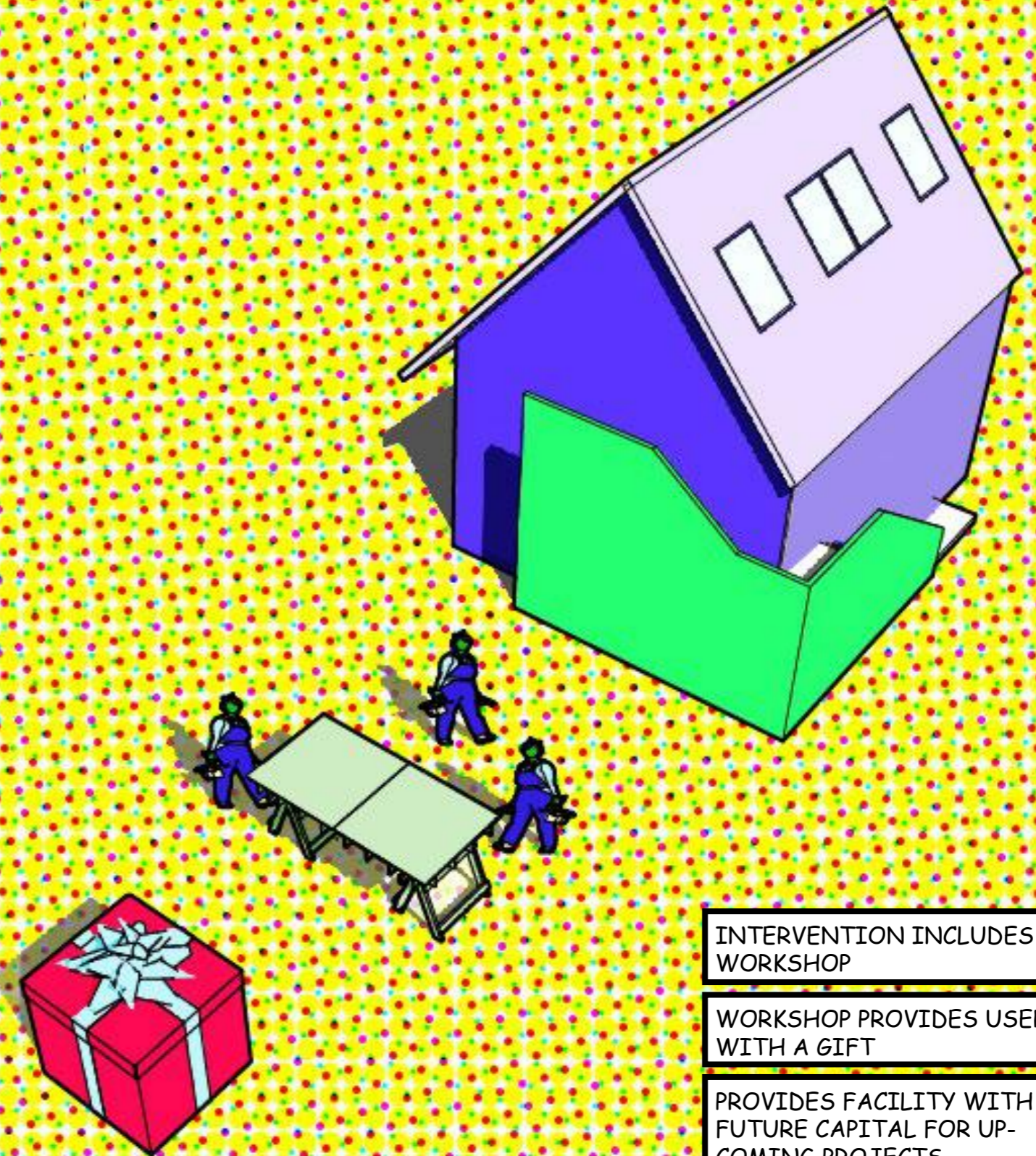
CONSTRUCTION MANUAL - THE UP-CYCLED GIFT

- **Up-cycle furniture to generate capital which is pushed back into the programme**
- **Build accommodation**
- **Gift produced by volunteers**
- **Contains curtains, furniture, household items, etc.**
- **Decommodification**

[gift + up-cycling]

The volunteers will work in the workshop for the duration of their use of the facilities. In the workshop furniture will be up-cycled and the accommodation and sleeping pods will be constructed. As the project expands on to other sites, the modular panels will continue to be built within the workshop and then transported out.

The volunteers will also work on producing everyday household items which they will take with them once they leave the programme. The gift will potentially include curtains, bedding, furniture and other household items.



INTERVENTION INCLUDES WORKSHOP

WORKSHOP PROVIDES USERS WITH A GIFT

PROVIDES FACILITY WITH FUTURE CAPITAL FOR UP-COMING PROJECTS

The Workshop - Skills

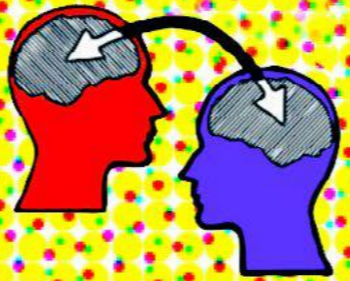
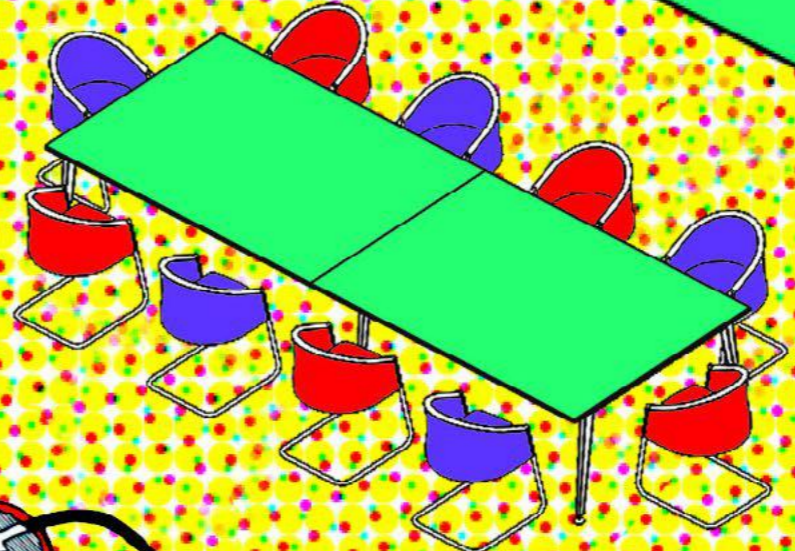
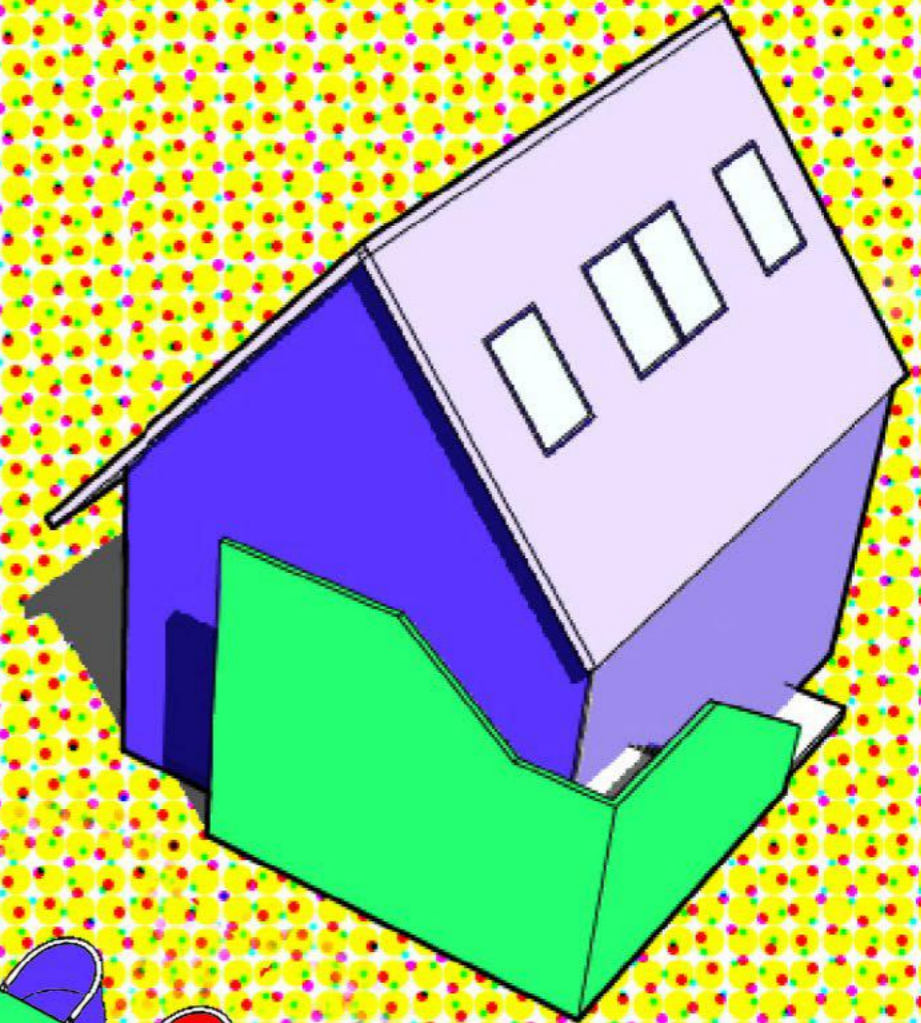
- Learn skills to improve CV + chance of getting work
- Develop relationships with other volunteers making this a partially social practice
- Dissemination of knowledge

[knowledge]

One of the aims of the workshop is to provide the volunteers with skills which will strengthen their CV. This will then hopefully aid in getting them a job once they have left the programme, allowing them to rely less on social financial support. This workshop and learning faculty within the proposal enhances the community environment and morale which will increase productivity in a positive dynamic.

CATCH 22

CONSTRUCTION MANUAL - LEARNING SKILLS

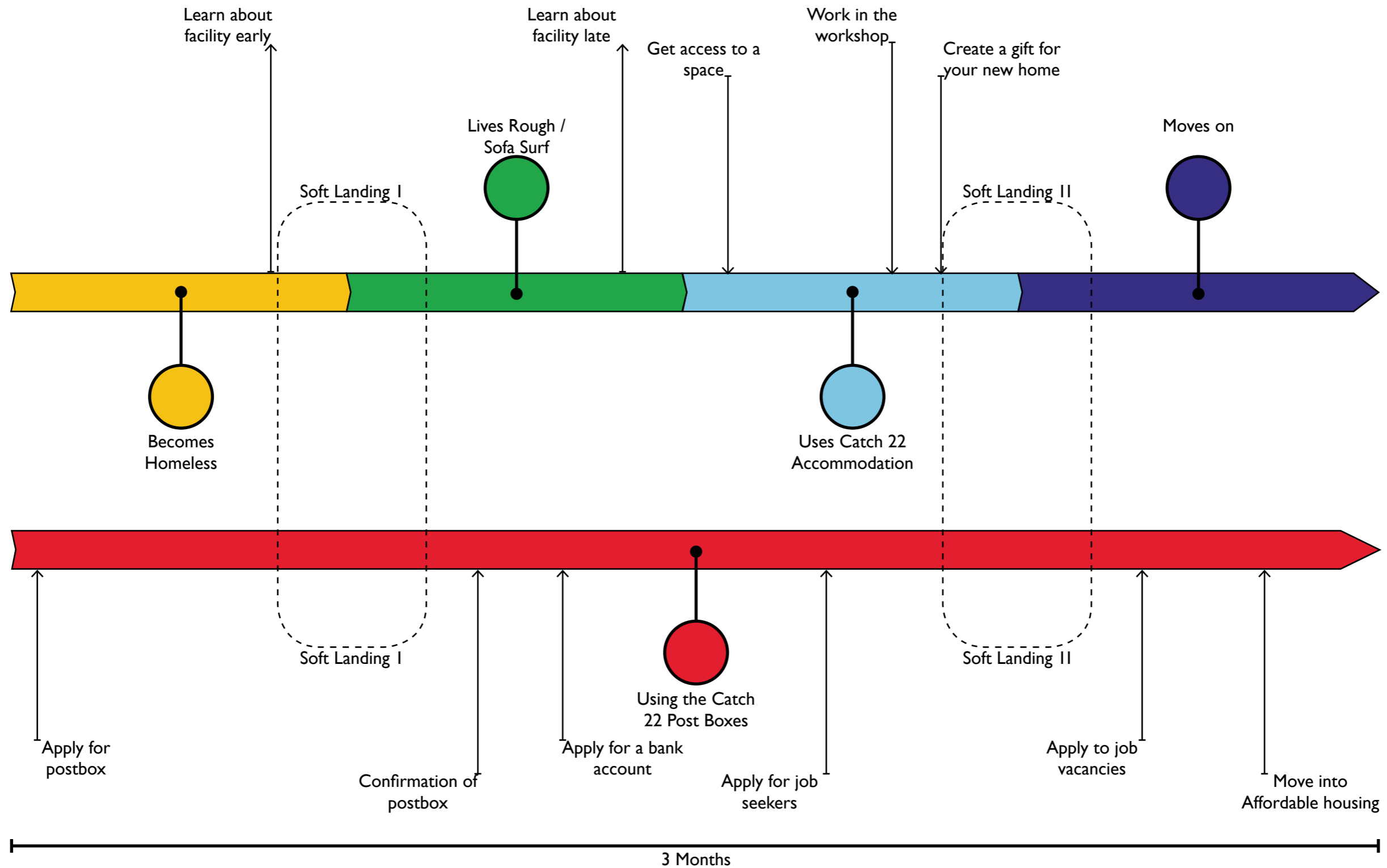


PRACTICAL SKILLS LEARNED IN WORKSHOP

COMBINED WITH EVERDAY LIFE SKILLS

BREAKS THE CYCLE OF CATCH 22

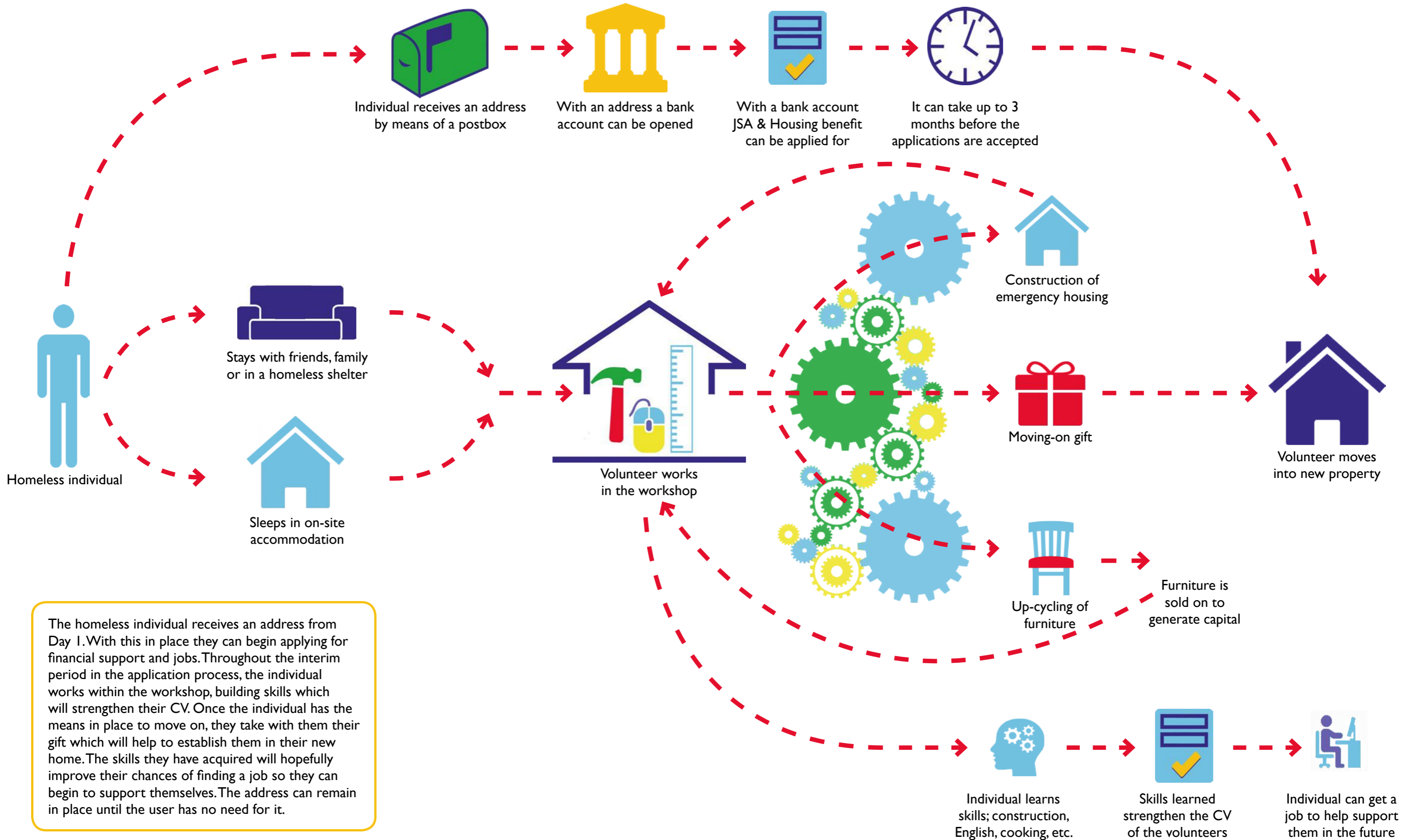
Time-scales



[Time-line]

The time-line depicts postboxes as a constant facility in comparison with a homeless person's time of events. Soft landings show that although developments of progression is halted, usage of postboxes remain.

Concept

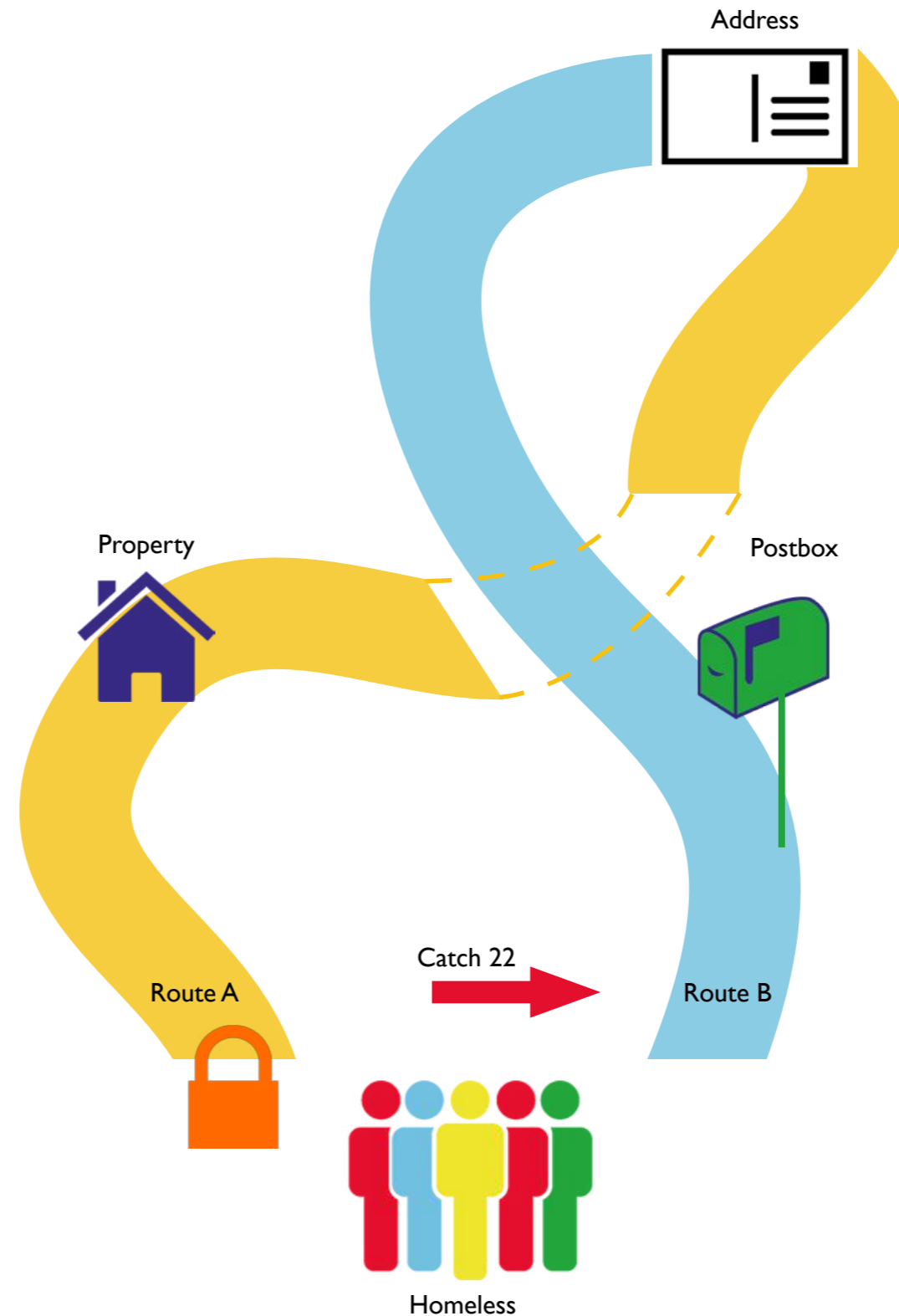


The Prefiguration of Catch 22

[the address is political]

By challenging policy, which homogenises the address and property into one entity, and suggesting an alternative route, the intervention disrupts the traditional order as it seeks to solve a spatial problem using architecture as a political agenda. The dissemination of the address fractures the link between property and address and proposed a critique of the commodification of housing in the UK. The intervention proposes that due to the gentrification and commodification of housing, society has lost its basic right to housing which has resulted in peaks in homelessness. The intervention seeks to support the individuals that have fallen off the security net with new infrastructure which emphasises everyone's entitlement to basic rights independent of their social standing.

The project also looks to decommodify the construction process through the use of free recycled materials, the collaboration with local businesses and the homeless volunteer workforce. The dissemination of knowledge within the workshop allows the volunteers the opportunity to help themselves rather than waiting and relying on official help. This passing down of knowledge reduces the power the 'elite' have on society and by doing so the individuals begin to claim back their right to the city. The provision of the gift is also a decommodified act as individuals have the opportunity to improve their standard of living by trading their time and service as opposed to capital.



Profiles

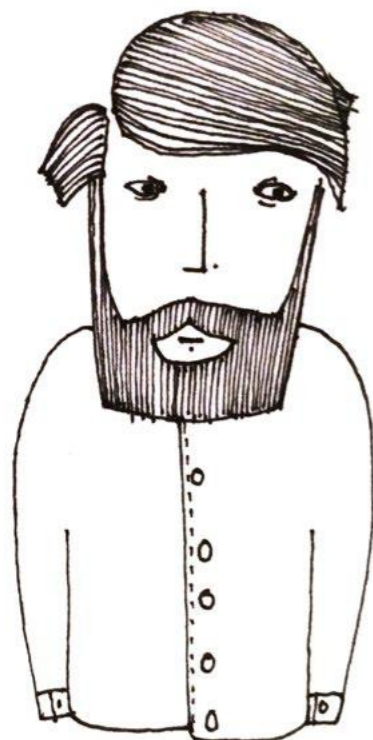
The profiles below are based on a report investigating the experiences of single homelessness in England. (Reeve, 2011)

[Michael]

Separates from partner and becomes homeless

Couch-surfing with friends who are drug users (loses job)

Hostel (claims JSA, gets job back, applies for transitional housing)



[Emma]

Living in mum and step-dad (age 15)

Women's refuge (1 months)

Council Tenancy (few months)

Couch Surfing and caravan in garden (1 year)

Private rented flat with partner (6 years)

Women's refuge (1 month)

Couch Surfing / squatting (5 months)

Tent / Rough Sleeping (few weeks)



[Nancy]

Living in council house (10 years)

Couch-surfs with Brother (2 years)

Couch-surfs with Friends/Family whilst occasionally sleeping rough (2.5 years)

Squats (few months)

Sleeps in a tent

Moves between couch surfing and rough sleeping (1 year)



[Jason]

Both parents pass away (Age 14)

Foster care (1 year)

Couch-surfs - goes to LA but they can't help as he is in the care of the social services

Rough Sleeping

B&B c/o social services (6 weeks)

Sleeping in tent (18 months)

Meets hostel-worker in Hospital waiting area keeping warm.

Hostel (2 years)

Sofa surfs / rough sleeping



Quick Re-homing

In all four cases, the interviewees have spent a period of time where they have not had an address and continually searched for stable accommodation.

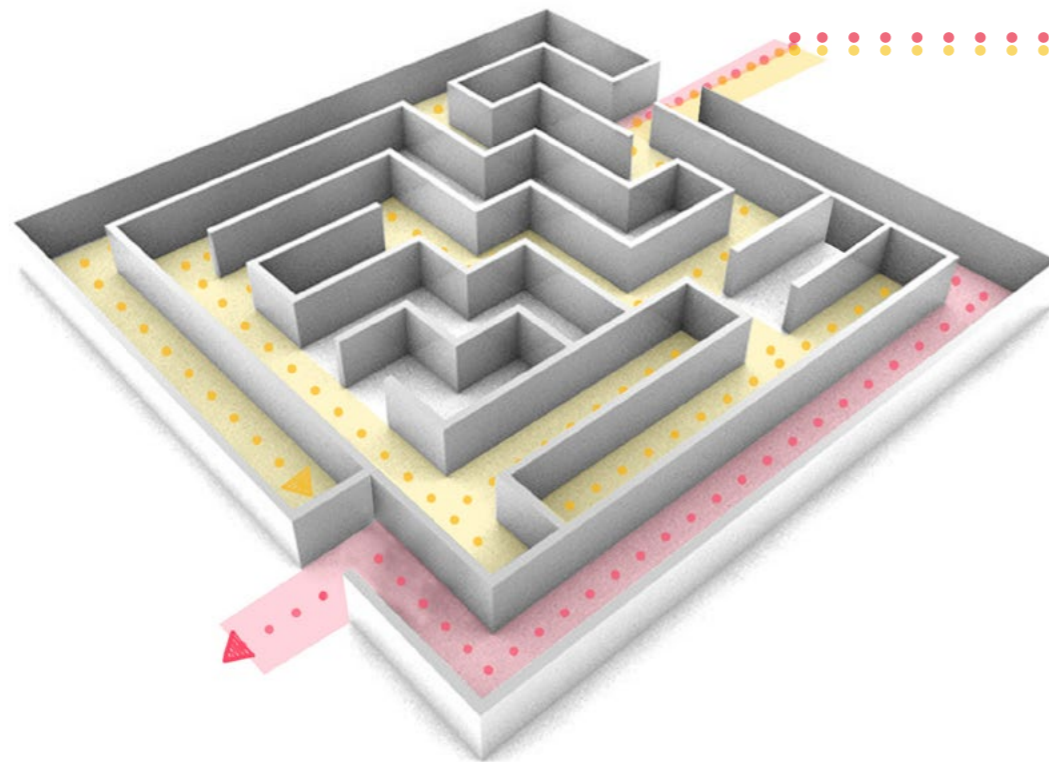
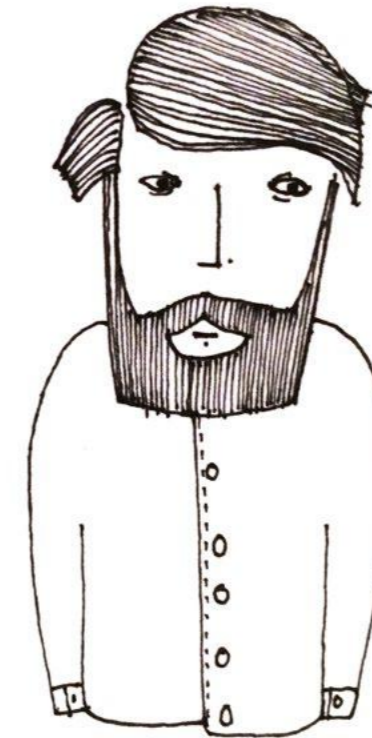
In Michael's case, he found support from the hostel where he stayed. This support enabled Michael to gain employment, access his right to financial benefits from the government and begin his application to be re-homed.

We believe that this was achieved due to the short time that Michael remained on the street, as well as the support and stability accessed through the hostel where he was staying.

[Michael]

Quick re-homing!

Now claims JSA, works, and has home



In the cases of Emma, Nancy, and Jason, their maintained invisibility is their barrier to accessing the system.



[Emma]

1.5 years

6 years rented

7 months



[Nancy]

4.6 years



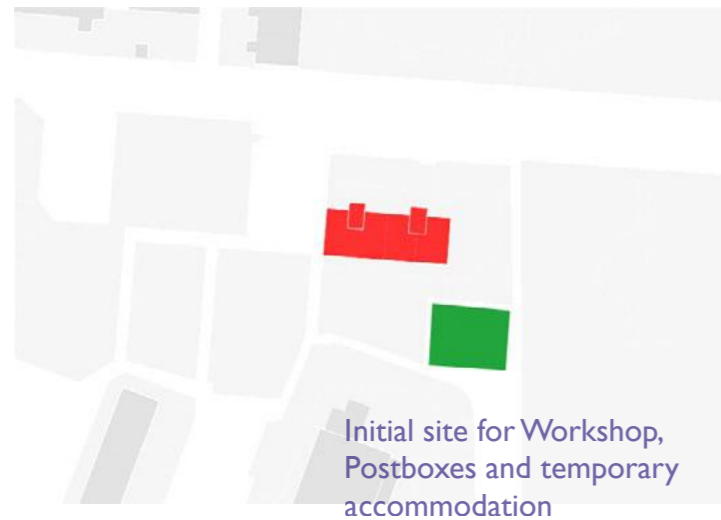
[Jason]

4.5 years

Providing Infrastructure

The Living Home Standard states that an essential attribute of Neighbourhood is to feel reasonably safe and secure in the local neighbourhood.

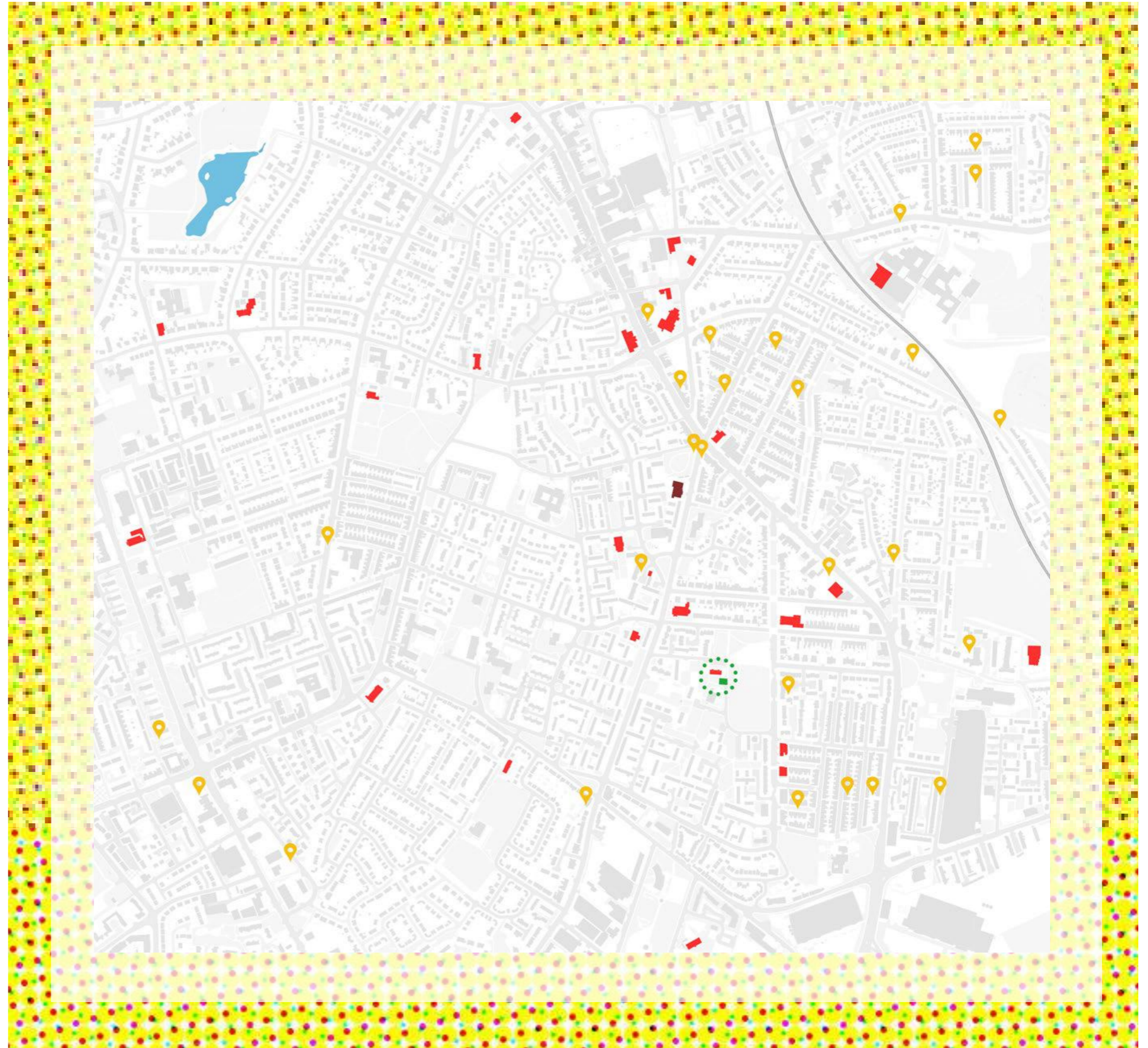
Wai Yin Welcome Centre,



[support network]

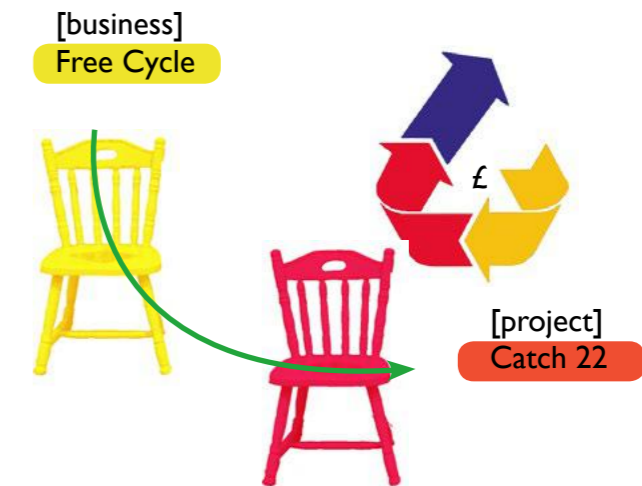
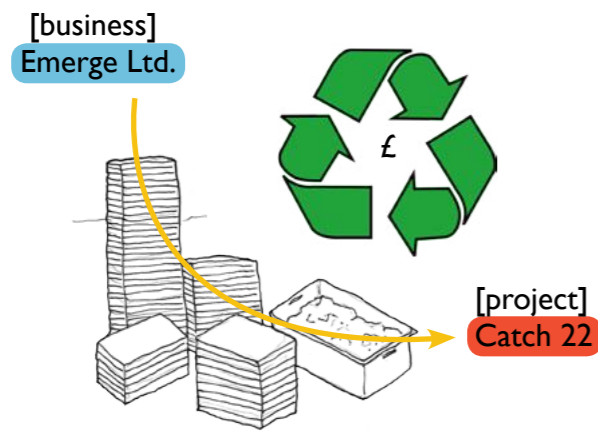
This map outlines some examples of where the community may come together to gain support from advisors and like minded people. The buildings highlighted in red are buildings that represent certain social groups, such as places of worship, job centres, welcome centres and advice centres. However it is clear that within the area that has been defined, the majority of the social net lies in places of worship.

In initial investigations there appears to be 5 learning centres in the immediate area, and 6 Libraries.



Finance

The project works on a not-for-profit basis and acts to decommodify housing and services.



[recycled materials]

A large proportion of the materials required for the intervention will be recycled materials, which have been donated/collected from collaborators, businesses and individuals, for free therefore construction costs will be negligible.

[volunteers]

The individuals using the services Catch 22 provide will work in the workshop on a voluntary basis as payment. This method of service exchange decommodifies the intervention.

[up-cycle]

Within the workshop the volunteers will up-cycle furniture which they will be able to sell. The capital generated from the sales of the products will be pumped back into Catch 22 to buy materials, tools, etc. which cannot be obtained for free.

User Requirements

Fundamental Requirements

Shelter away from the elements	Postbox	Workshop
Safe	Identity	Skills exchange
Secure	Aim / Optimism	Support
		Connect

Secondary Requirements

Private Space	Gift
Safe Sleeping Area	Start up
Storage facility	Individuality
Wash facility	Creativity
Congregat	Aspiration

From our research we have established fundamental and secondary requirements which defined the framework in the design process. The requirements could be split into two stages of the program and so shaped the layout of the intervention clearly.

Construction Manual

Material Map 25

Emerge 26

Material Library 27

Paper Bricks
Timber Boarding
Cans/Tins
Pallets
Composite Panel
Rubble
Raw Materials

Construction Guide 35

Wall section
Bed Pod
Roof
Flexible Design

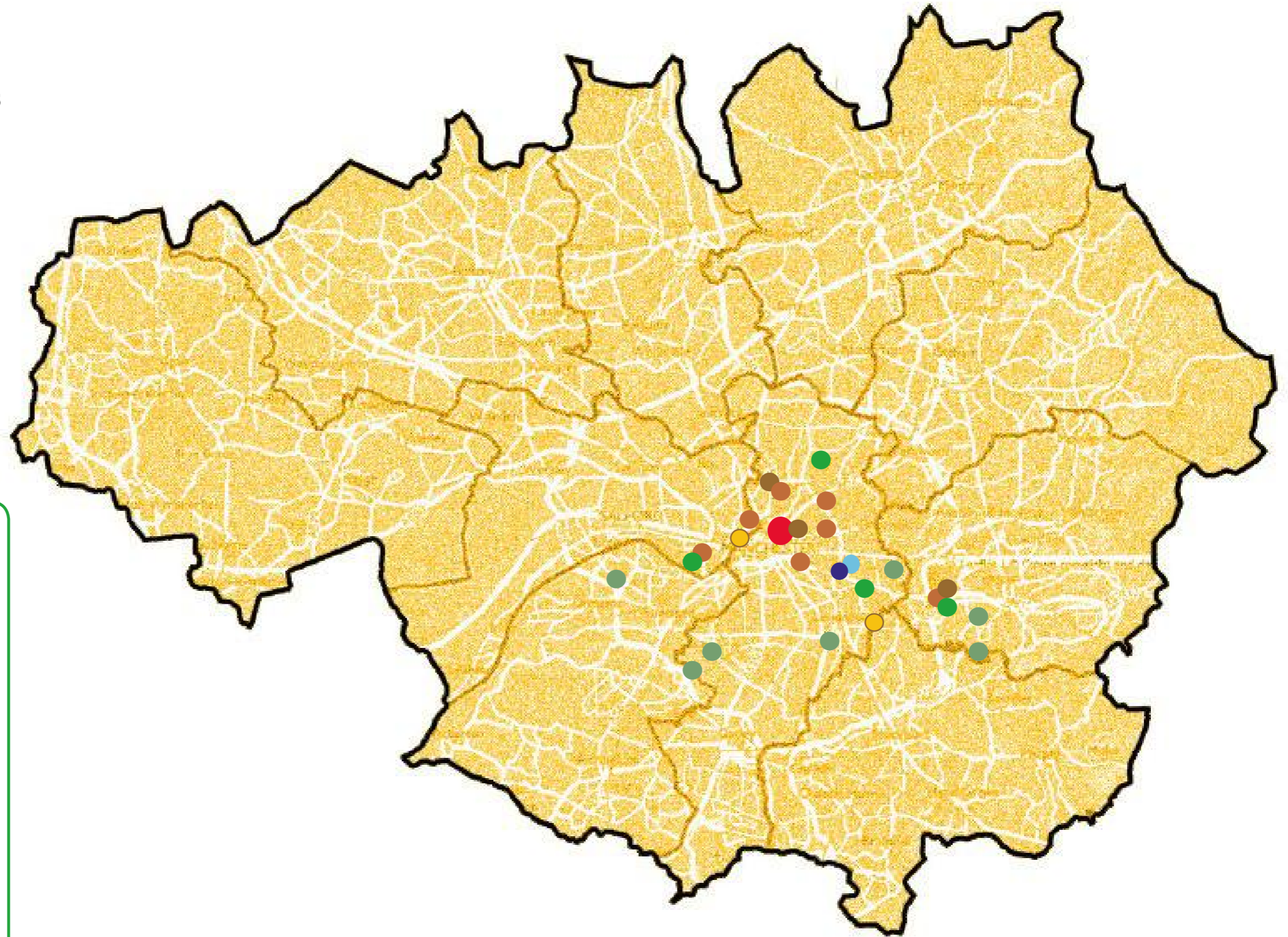
Material Map

Material Source Locations

- Welcome Centre
- Emerge
- Rubble
- Pallet
- Paper
- Tires
- Plastic Bottles / Cans

Material Collaborator

- Emerge
- SD Waste Paper Centre
- Manchester Plastic
- EMR Manchester
- Howarth Metals Ltd
- Fast Forward Recycling Ltd
- Viridor Waste Greater Manchester
- Go Green Vehicle Recycling
- Sternberg B & Sons (Textiles) Ltd
- Visage Textiles Ltd.



Emerge, Manchester

Receiving various materials from one main partner will reduce logistical and organisational cost, it also simplifies pricing and provides us with a guaranteed material flow all year around.

Why Emerge?

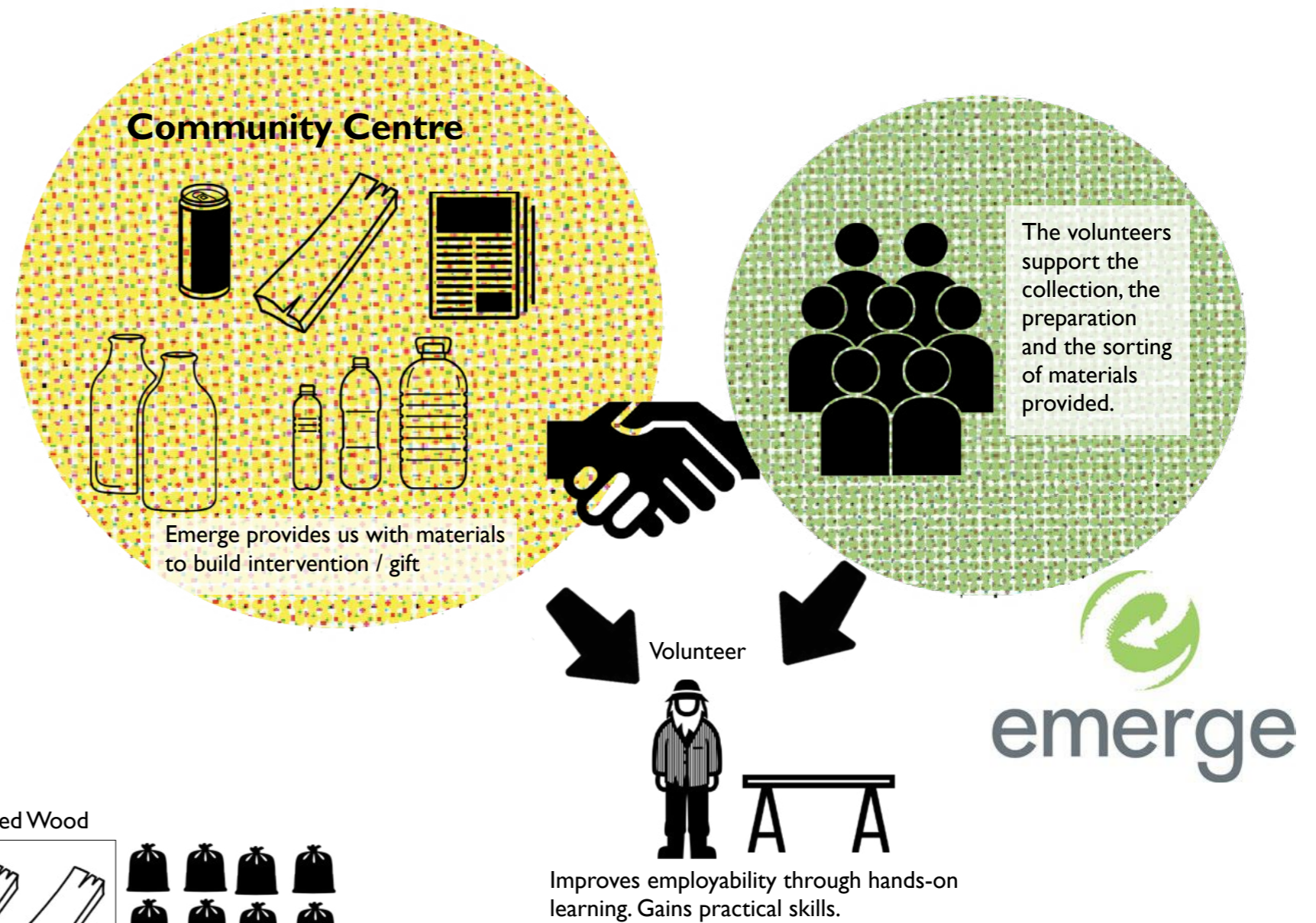
With Emerge we found a collaborator who can not only provide us with an multitude of various materials but they also run their recycling business with a strong ethical ethos towards the environment and people.

The '3Rs' (Reduce, Reuse and Recycle) of sustainable resource and waste management are at the heart of everything they do which we strongly agree with.

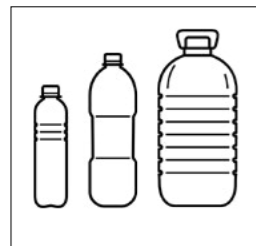
What are we getting from Emerge

By gaining a close relationship with Emerge we guarantee a consistent material flow for our workshop and by engaging volunteers with emerge they will gain skills and so develop better work opportunities.

Relationship with Emerge



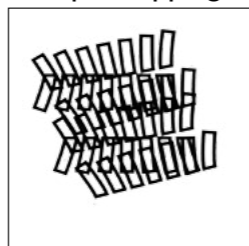
Plastic bottles



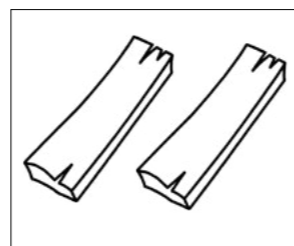
Glass bottles



Paper clipping



Reclaimed Wood



1 bag = 1-2 kg of material minimum per week

Paper bricks

Main Material Collaborator

Address:

Emerge
Whitworth Street East, Manchester
M11 2WJ

Tel. No:

0161 2238200

Contact:

Gareth Jones

Material Properties

Mechanical Properties

- Brittle
- Compressive Strength
- Tensile Strength
- Hardness
- Stiffness
- Modular

Other

- Flammable
- Thermally Insulating
- Acoustically Insulating
- Corrosive
- Magnetic
- High embodied energy
- Conductivity

Material Dimensions per unit:

Weight: :2kg
Dimensions: 300 x 140 x 70
Approx Load Capacity: unknown

Amount Available:

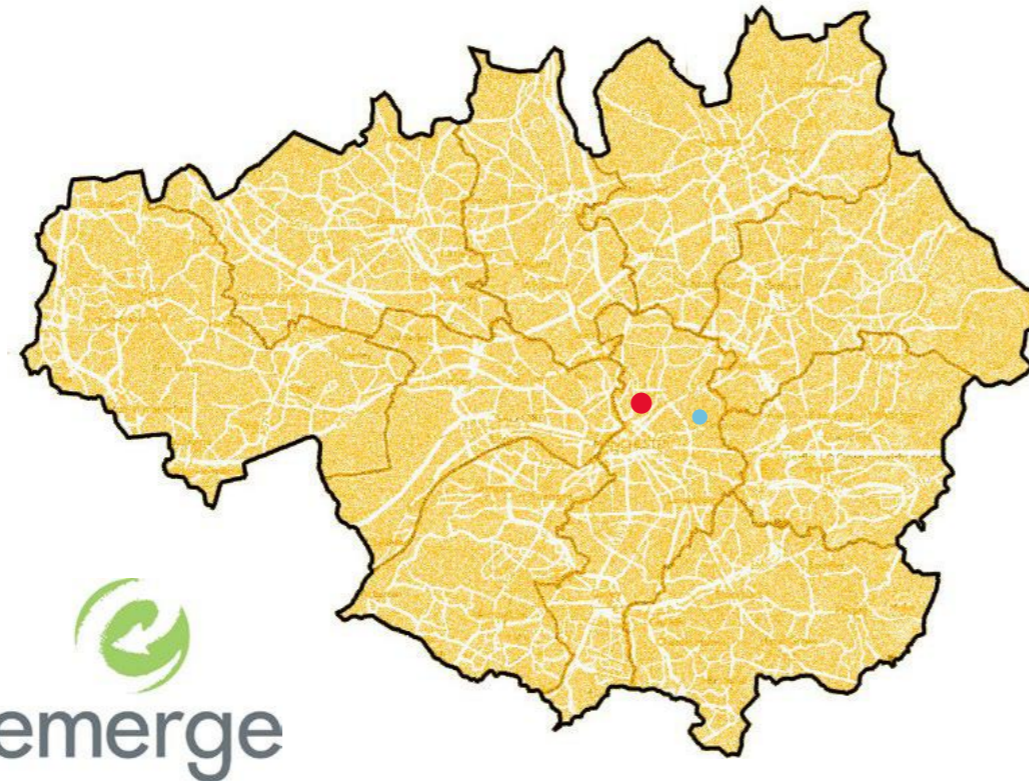
>4kg

Amount Required per unit:

4000

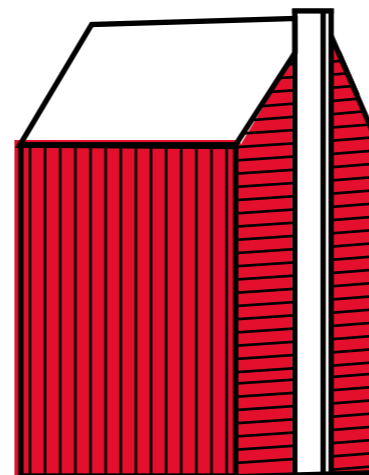
Temporal Sequence:

Weekly



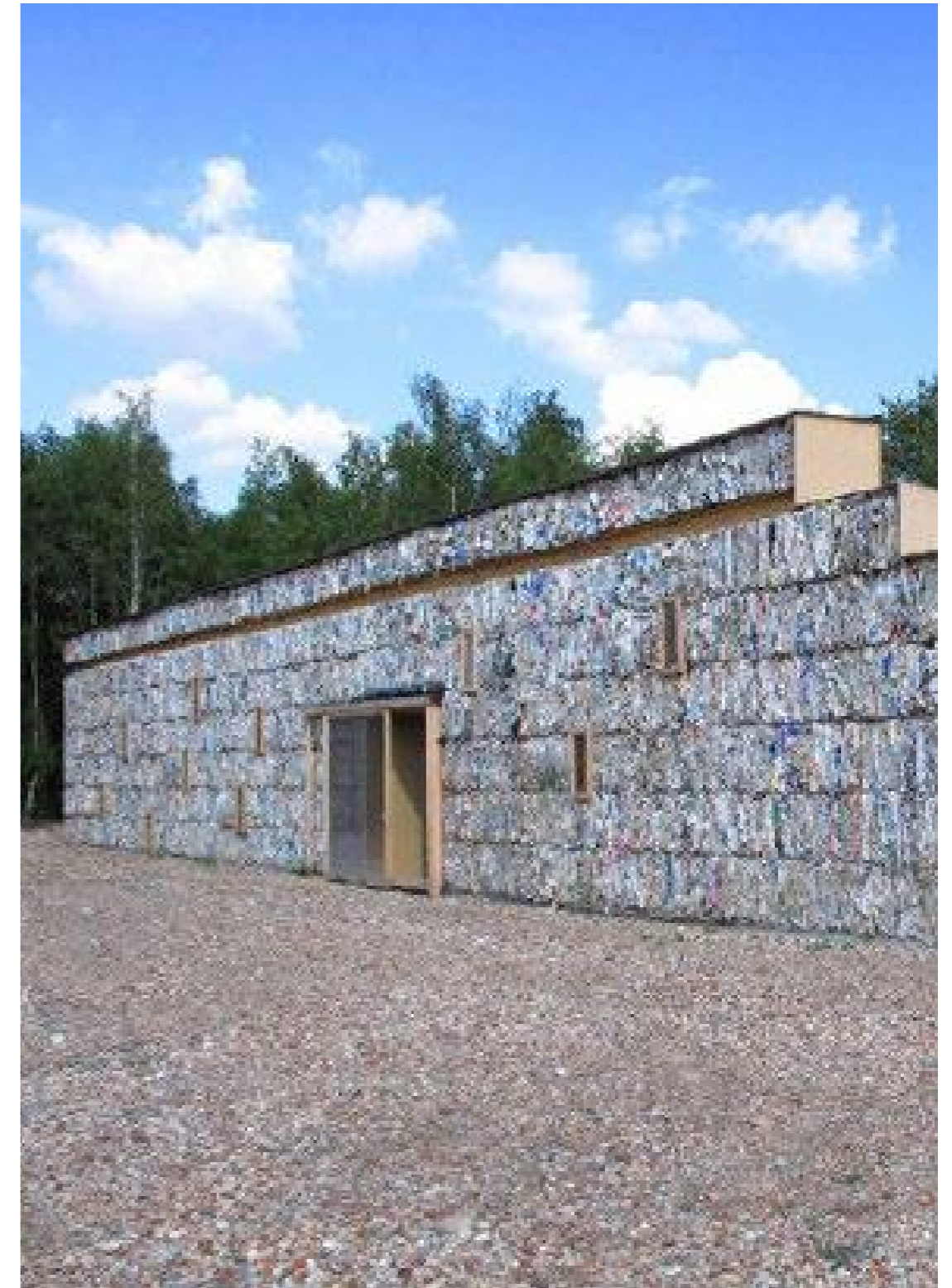
Material Application:

- Structure
- Foundation
- Flooring
- Insulation
- Cladding - Roof
- Cladding - Wall
- Post Box



Precedent

Paper House by Ben and Daniel Dratz



Matus,M. (2012) Dratz&Dratz Unveil Office Made From Recycled Paper in Essen, Germany. Available at: <http://inhabitat.com/dratzdratz-unveil-workspace-made-from-recycled-paper-in-essen-germany/> (Accessed: 29.11.2016)

Paper bricks

Process of Material Manipulation



Murramumma (2011) Reduce, Reuse, Recycle - Paper-bricks. Available at: <http://murramumma.blogspot.co.uk/2011/11/reduce-reuse-recycle-paper-bricks.html> (Accessed: 29.11.16)

Material Manipulation

Materials Required:

Paper
Concrete
Water

Skill Level Required

○ High
○ Medium
● Low

Time Taken to Produce

3 days

Tools Required

Paper Bricket Maker



Shoptick (2016) Paper Log Maker. Available at: <https://shoptick.co.uk/paper-log-maker> (Accessed: 29.11.16)

Timber Boarding

Main Material Collaborator

Address:

Emerge
Whitworth Street East, Manchester
M11 2WJ

Tel. No:

0161 2238200

Contact:

Gareth Jones

Material Properties

Mechanical Properties

- Brittle
- Compressive Strength
- Tensile Strength
- Hardness
- Stiffness
- Modular

Other

- Flammable
- Thermally Insulating
- Acoustically Insulating
- Corrosive
- Magnetic
- High embodied energy
- Conductivity

Material Dimensions per unit:

Weight: miscellaneous

Dimensions: miscellaneous

Approx Load Capacity:
miscellaneous

Amount Available:

>15m³

Amount Required per unit:

120m²

Temporal Sequence:

Tbc



Material Manipulation

Materials Required:

Wood
Nails
Varnish

Tools Required

Hammer
Saw
Sandpaper

Skill Level Required

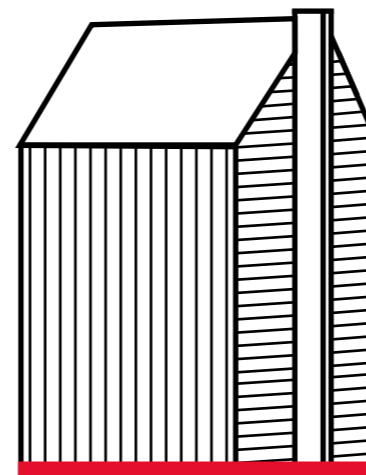
- High
- Medium
- Low

Estimated Duration of Production

2 days

Material Application:

- Structure
- Foundation
- Flooring
- Insulation
- Cladding - Roof
- Cladding - Wall
- Post Box



admin (2015) Pallet Deck. Available at: <http://www.101palletideas.com/pallet-deck-construction/> (Accessed: 19.11.2016)

Cans / Tins

Main Material Collaborator

Address:

Emerge
Whitworth Street East, Manchester
M11 2WJ

Tel. No:

0161 2238200

Contact:

Gareth Jones

Material Properties

Mechanical Properties:

- Brittle
- Compressive Strength
- Tensile Strength
- Hardness
- Stiffness
- Modular

Other:

- Flammable
- Thermally Insulating
- Acoustically Insulating
- Corrosive
- Magnetic
- High embodied energy
- Conductive

Material Dimensions per unit:

Weight: 16g
Dimensions: 55 x 120 mm
Approx Load Capacity: <500kg

Amount Available per unit:

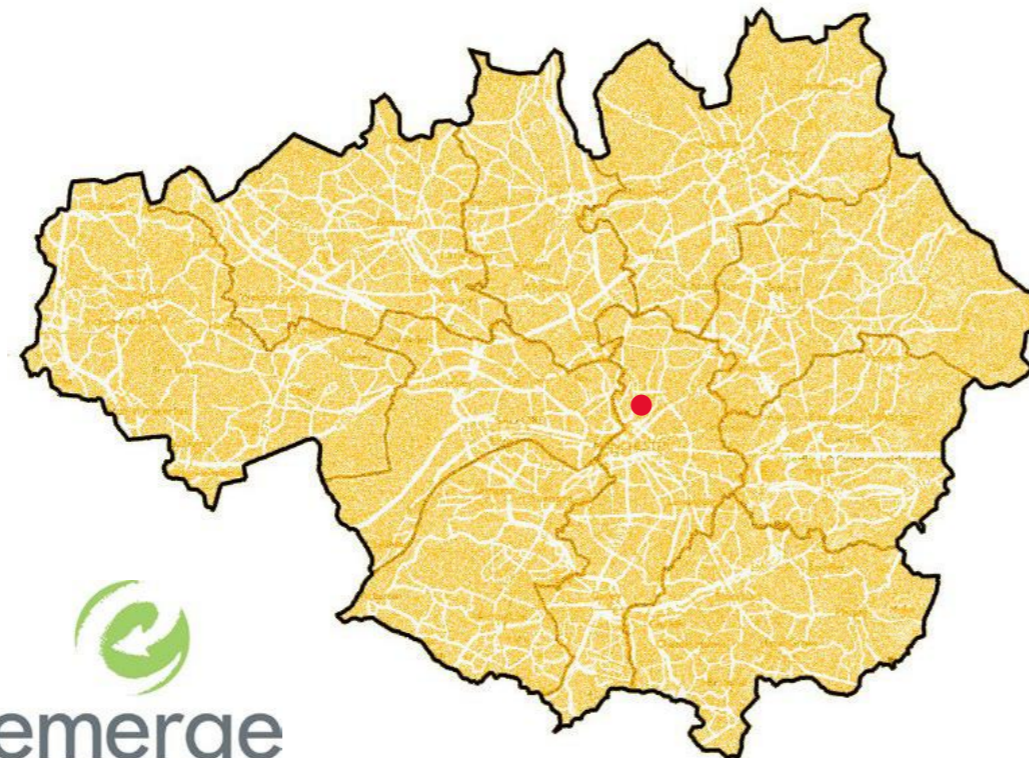
Tbc

Amount Required per unit:

2500

Temporal Sequence:

Weekly



Material Manipulation

Materials Required:

Cans
Nails
Water

Tools Required

Hammer
Drill
Can press

Skill Level Required

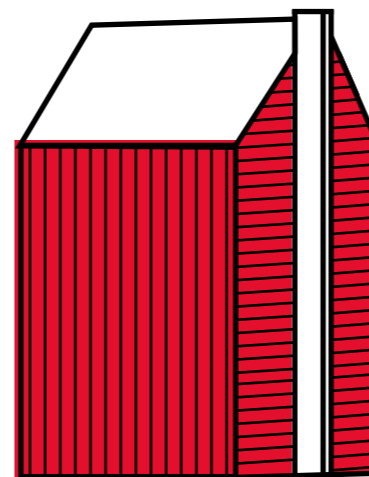
- High
- Medium
- Low

Estimated Duration of Production

2 days

Material Application:

- Structure
- Foundation
- Flooring
- Insulation
- Cladding - Roof
- Cladding - Wall
- Post Box



Precedent

The Can House, Sliverspring by Richard Van Os Keuls



EcoArtware (2004) A Can-Do House: A New Twist to Aluminium Siding . Available at: http://www.eco-artware.com/newsletter/newsletter_05_04.php (Accessed 29.11.2016)

Pallets

Main Material Collaborator

Address:
Welcome Centre,
Cheetham Hill, Manchester
M8 0TW

Tel. No:
0161 792 9760
Contact:
Mark

Material Properties

Mechanical Properties:

- Brittle
- Compressive Strength
- Tensile Strength
- Hardness
- Stiffness
- Modular

Other:

- Flammable
- Thermally Insulating
- Acoustically Insulating
- Corrosive
- Magnetic
- High embodied energy
- Conductive

Material Dimensions per unit:

Weight: 18kg
Dimensions: 1000 x 1000 x 120 mm
Approx Load Capacity: <500kg

Amount Available per unit:

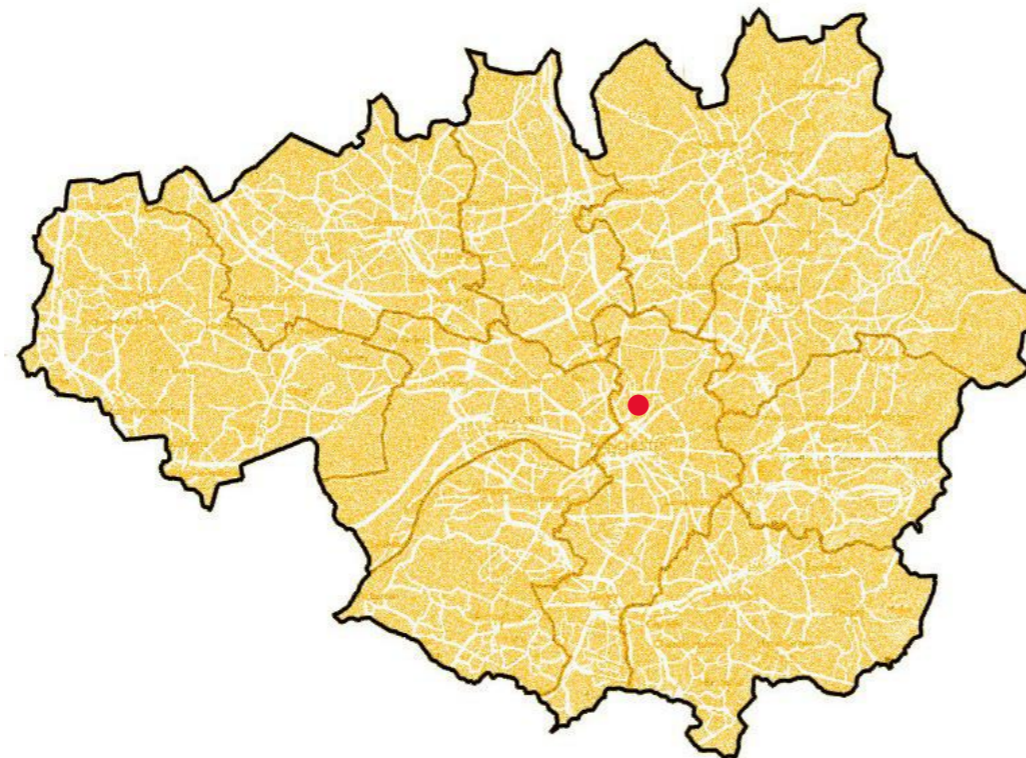
20

Amount Required per unit:

350

Temporal Sequence:

Weekly



Material Manipulation

Materials Required:

Wood
Nails
Varnish

Tools Required

Hammer
Saw
Sandpaper

Skill Level Required

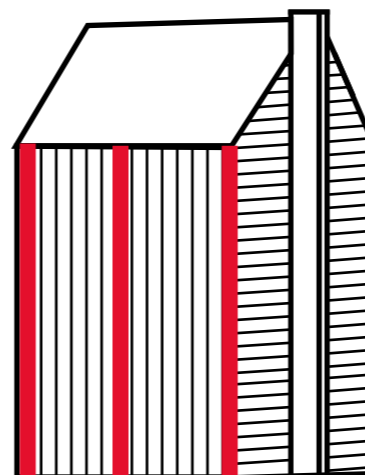
- High
- Medium
- Low

Estimated Duration of Production

1 days

Material Application:

- Structure
- Foundation
- Flooring
- Insulation
- Cladding - Roof
- Cladding - Wall
- Post Box



Precedent

Pallet House by Azin Valy and Suzan Wines



Ibeam (2015) The Pallet House. Available at: <http://www.i-beamdesign.com/the-pallet-house-newyork/> (Accessed: 29.11.16)

Composite Panels

Main Material Collaborator

Address:
Koko Fashion
Derby Street, M8 8HW

Email:
lungsonltd@hotmail.com
Contact:
Mr Lo

Material Properties

Mechanical Properties:

- Brittle
- Compressive Strength
- Tensile Strength
- Hardness
- Stiffness
- Modular

Other:

- Flammable
- Thermally Insulating
- Acoustically Insulating
- Corrosive
- Magnetic
- High embodied energy
- Conductive

Material Dimensions per unit:

Weight: 16g
Dimensions: 55 x 120 mm
Approx Load Capacity: <500kg

Amount Available per unit:

Tbc

Amount Required per unit:

2500

Temporal Sequence:

Once



Material Manipulation

Materials Required:

Wood
Nails
Varnish

Tools Required

Hammer
Saw
Sandpaper

Skill Level Required

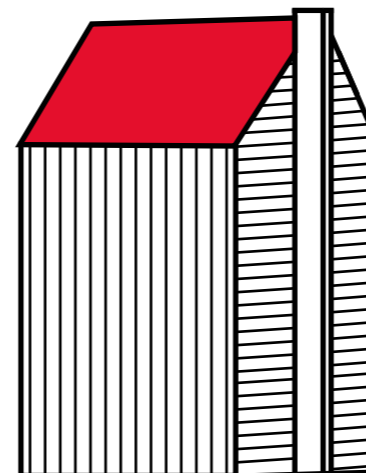
- High
- Medium
- Low

Estimated Duration of Production

2 days

Material Application:

- Structure
- Foundation
- Flooring
- Insulation
- Cladding - Roof
- Cladding - Wall
- Post Box



Example

Available composite panels on a local site about to be took to landfill.



Photo by Ross Neal (2016)

Rubble

Main Material Collaborator

Address:
Jersey Street, Manchester
M4 6JA

Email:
mevans@ericwright.co.uk
Contact:
Eric Wright

Material Properties

Mechanical Properties

- Brittle
- Compressive Strength
- Tensile Strength
- Hardness
- Stiffness
- Modular

Other

- Flammable
- Thermally Insulating
- Acoustically Insulating
- Corrosive
- Magnetic
- High embodied energy
- Conductivity

Material Dimensions per unit:

Weight: unknown
Dimensions: unknown
Approx Load Capacity: unknown

Amount Available:

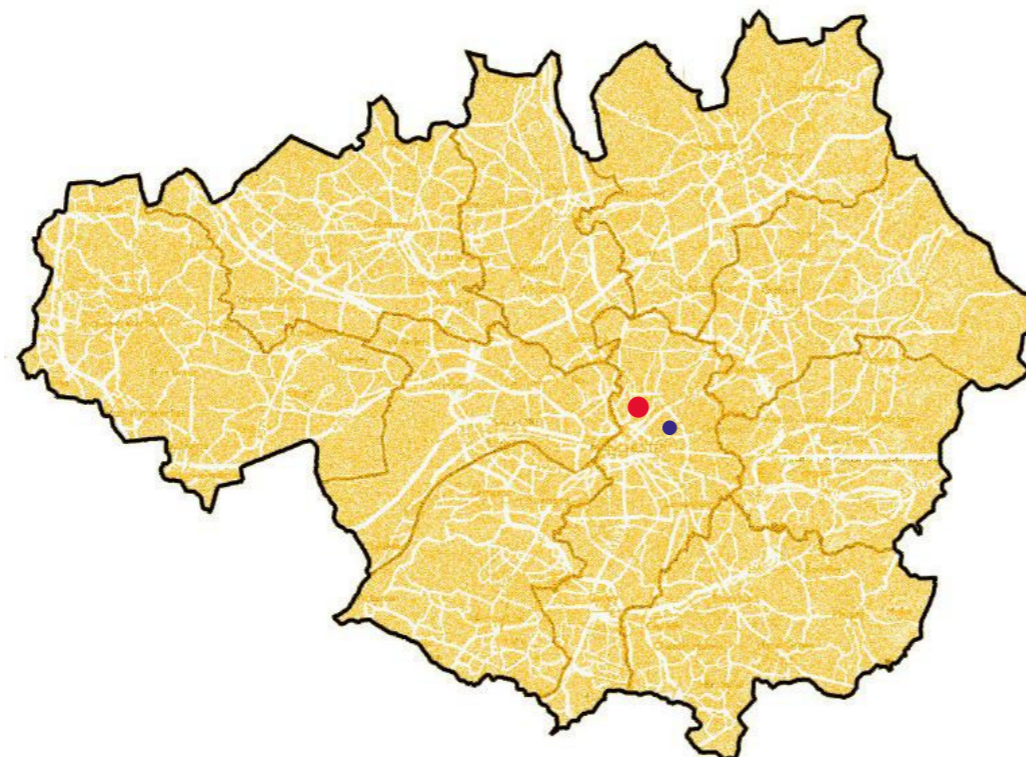
20 tonnes

Amount Required per unit:

60m²

Temporal Sequence:

once



Material Manipulation

Materials Required:

Wood
Nails
Varnish

Tools Required

Hammer
Saw
Sandpaper

Skill Level Required

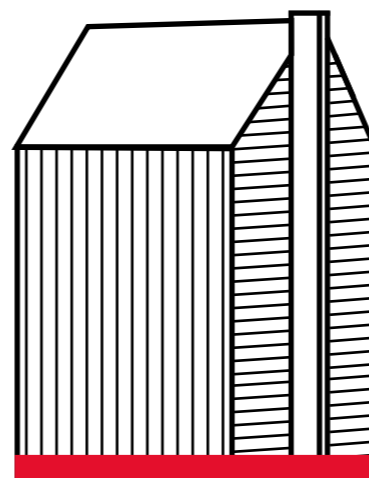
- High
- Medium
- Low

Estimated Duration of Production

2 days

Material Application:

- Structure
- Foundation
- Flooring
- Insulation
- Cladding - Roof
- Cladding - Wall
- Post Box



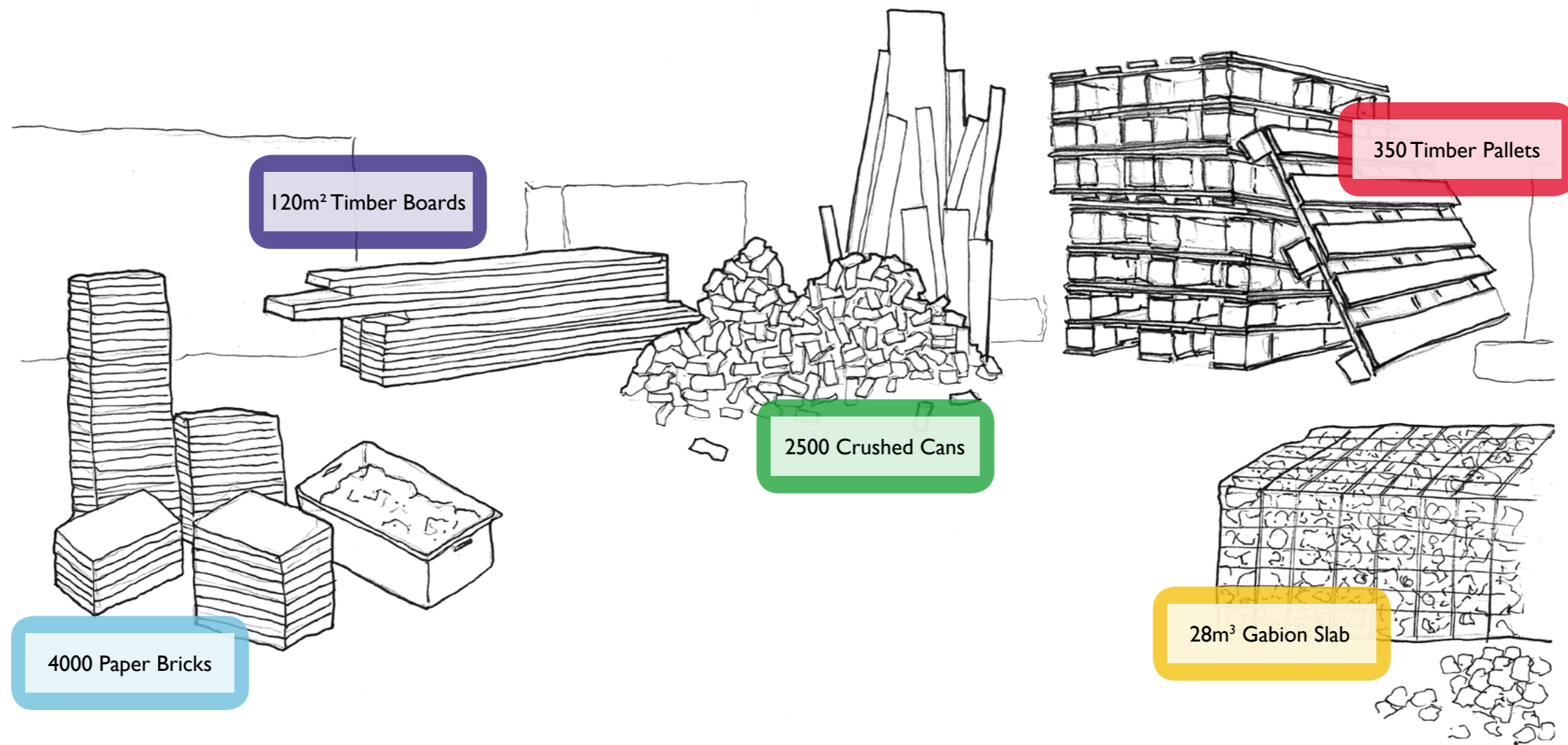
Precedent

Metropolitan Park South Access by Polidura Talhouk Arquitectos

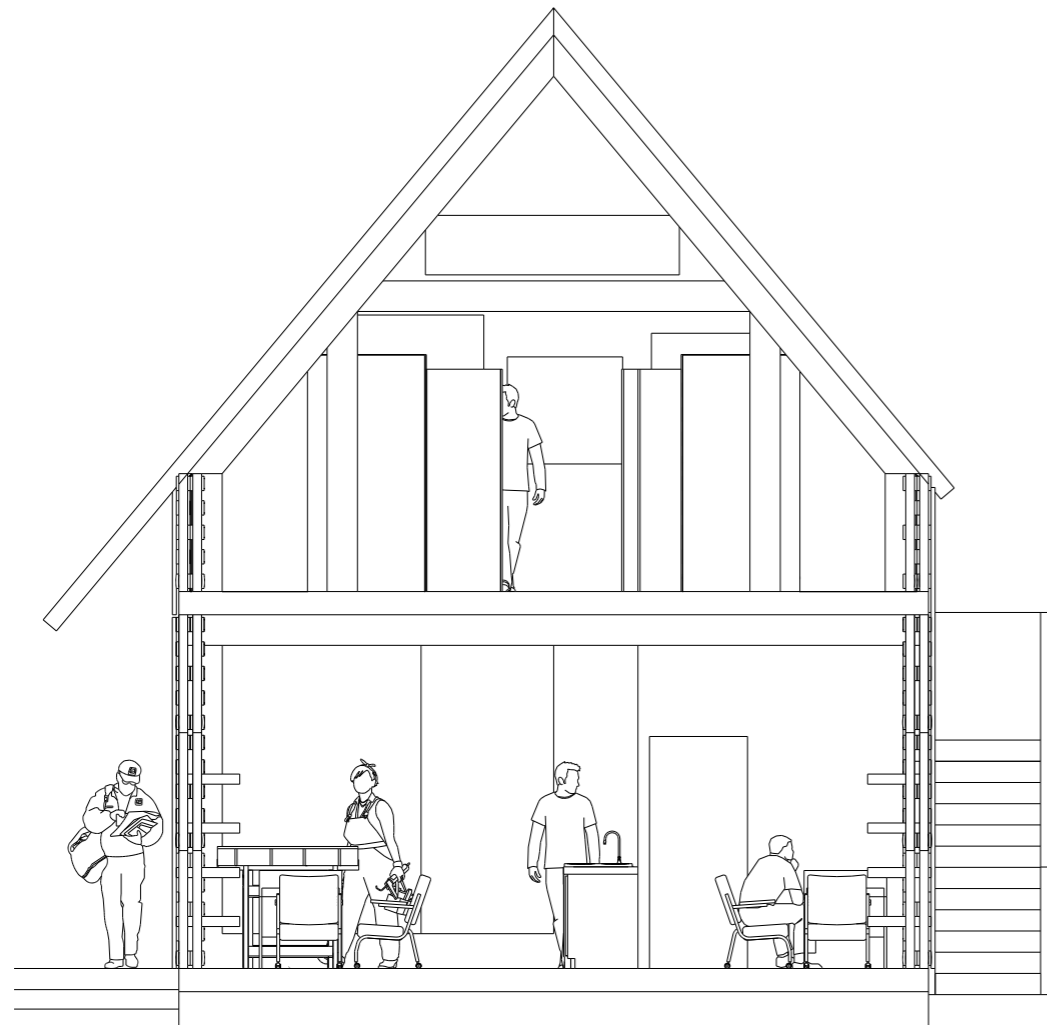


ArchDaily (2013) Metropolitan Park South Access / Polidura Talhouk Arquitectos . Available at: <http://www.archdaily.com/440276/metropolitan-park-south-access-polidura-talhouk-arquitectos/5126e708b3fc4b11a7000450-metropolitan-park-south-access-polidura-talhouk-arquitectos-image> (Accessed: 29/11/2016)

Raw Materials



Wall Build Up



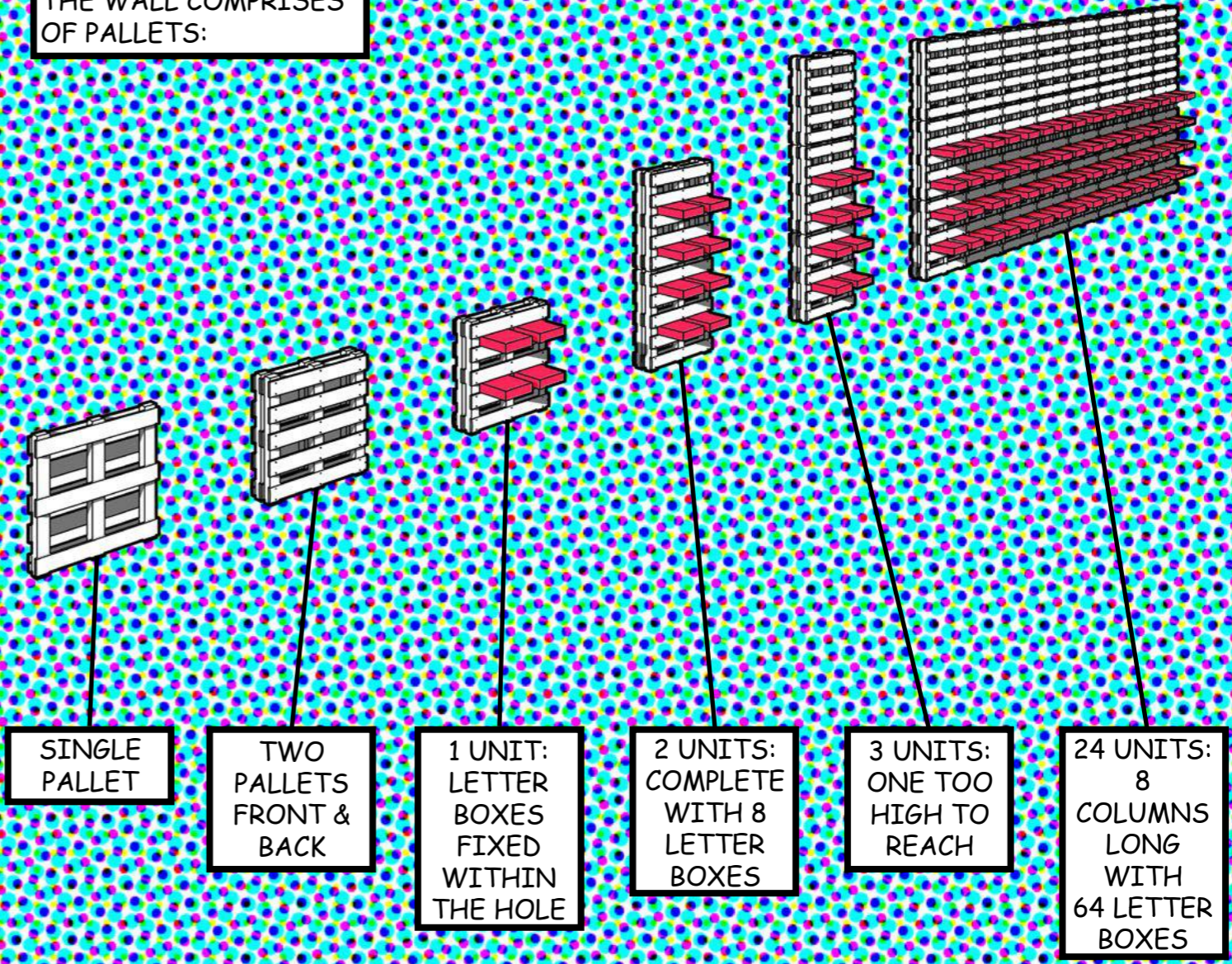
Construction diagram - Letterbox wall

This image shows an example of the simple way in which the construction of the letterbox wall can be illustrated. The majority of the wall comprises of pallets, paper brick insulation, crushed can shingles the make up of which can be illustrated on further diagrams to complete the construction manual.

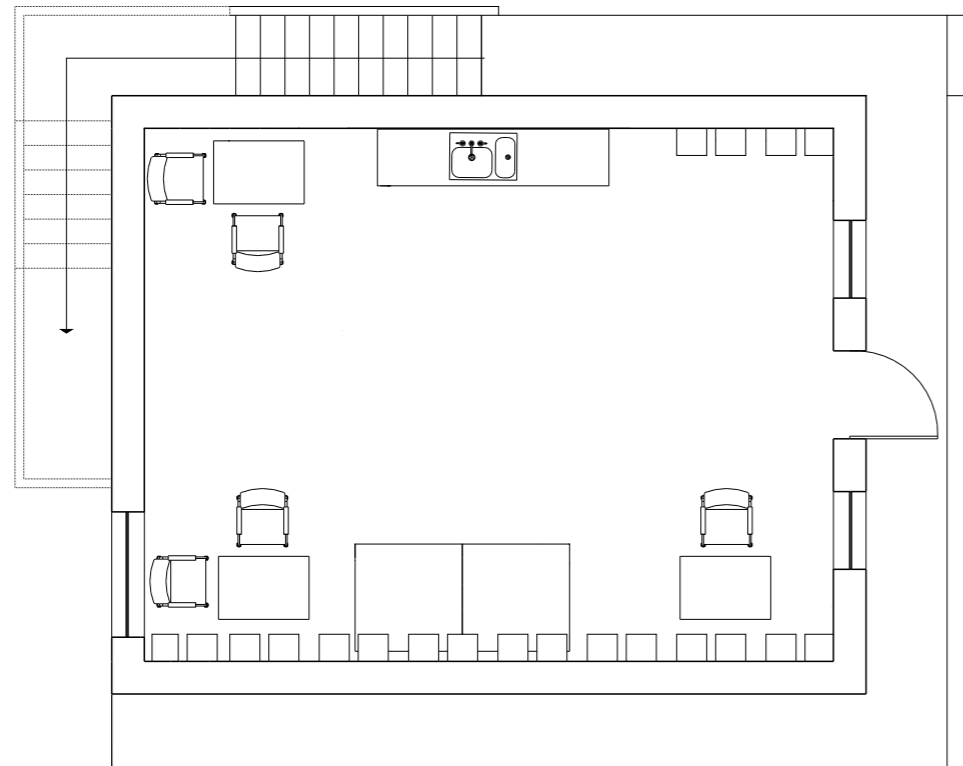
CATCH 22

CONSTRUCTION MANUAL - WALL BUILD UP

THE WALL COMPRISES OF PALLETS:



Wall Section



Ground Floor - Wall Build Up

This image further explains the relationship between the exterior and interior space as well as graphically illustrating the build up of the wall.

The structure of the wall comprises of an exterior and interior pallet, which are filled with paper bricks. These bricks provide rigidity, insulation and protection from water. Puncturing this wall construction are postboxes which can be built using timber, or potentially the same paper/concrete product that is used to make the bricks.

CATCH 22

OUTSIDE SPACE

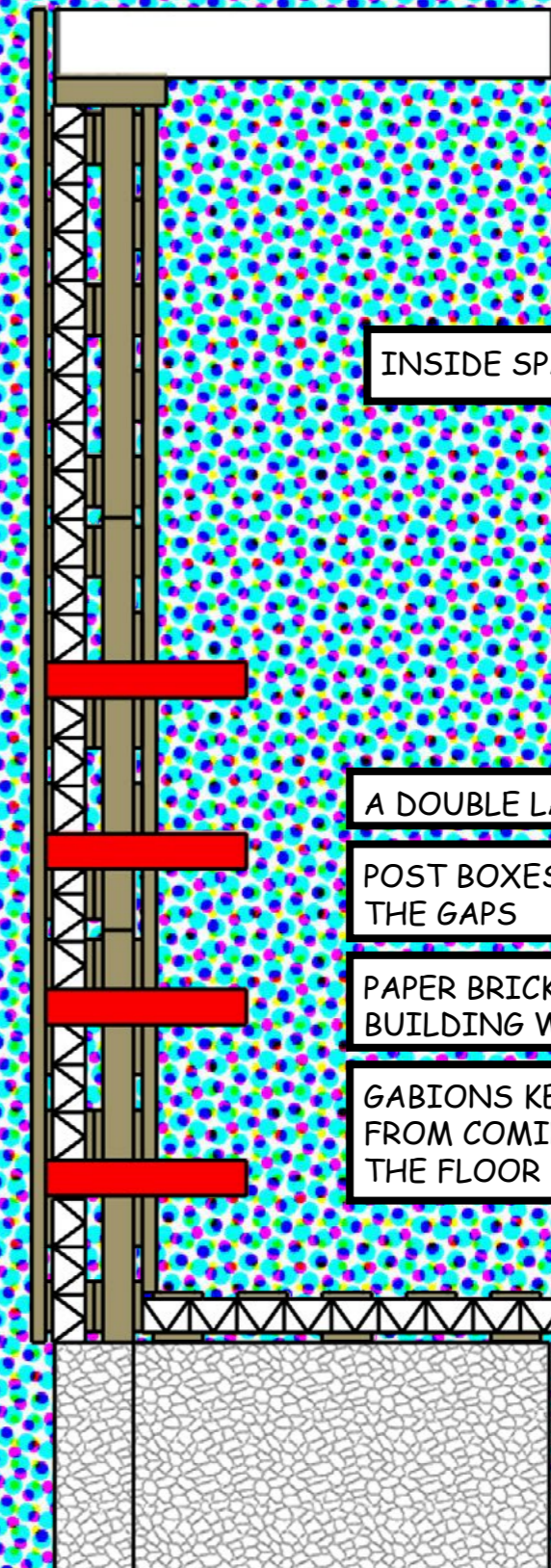
INSIDE SPACE

A DOUBLE LAYER OF PALLETS

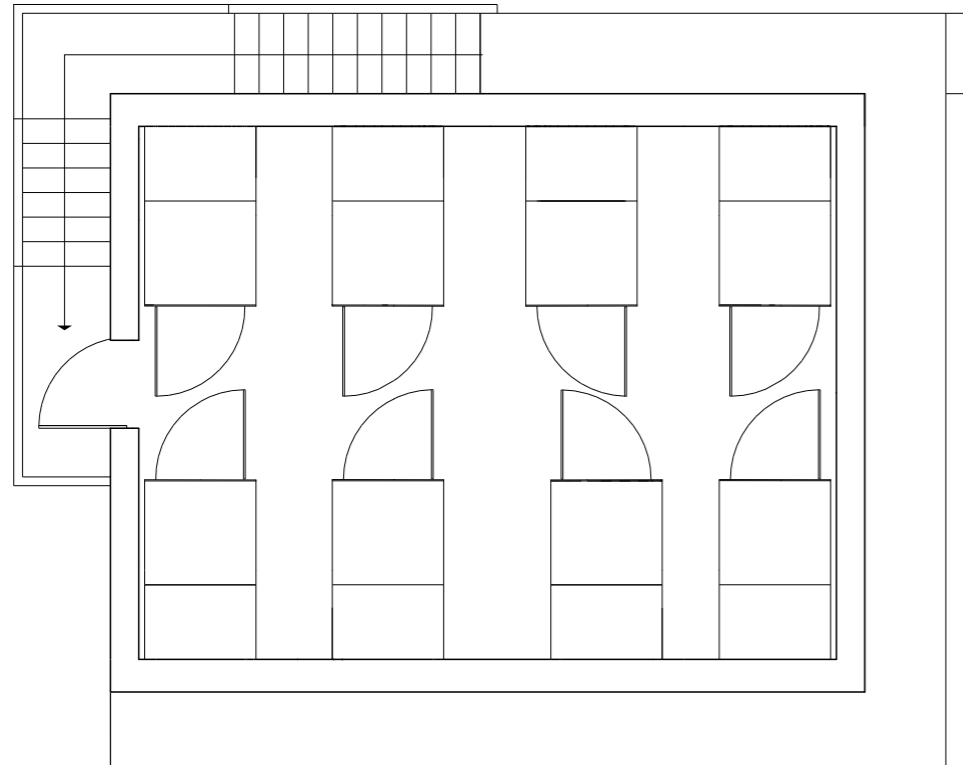
POST BOXES FIT BETWEEN THE GAPS

PAPER BRICKS KEEP THE BUILDING WARM AND DRY

GABIONS KEEP THE DAMP FROM COMING THROUGH THE FLOOR



Bed Pod

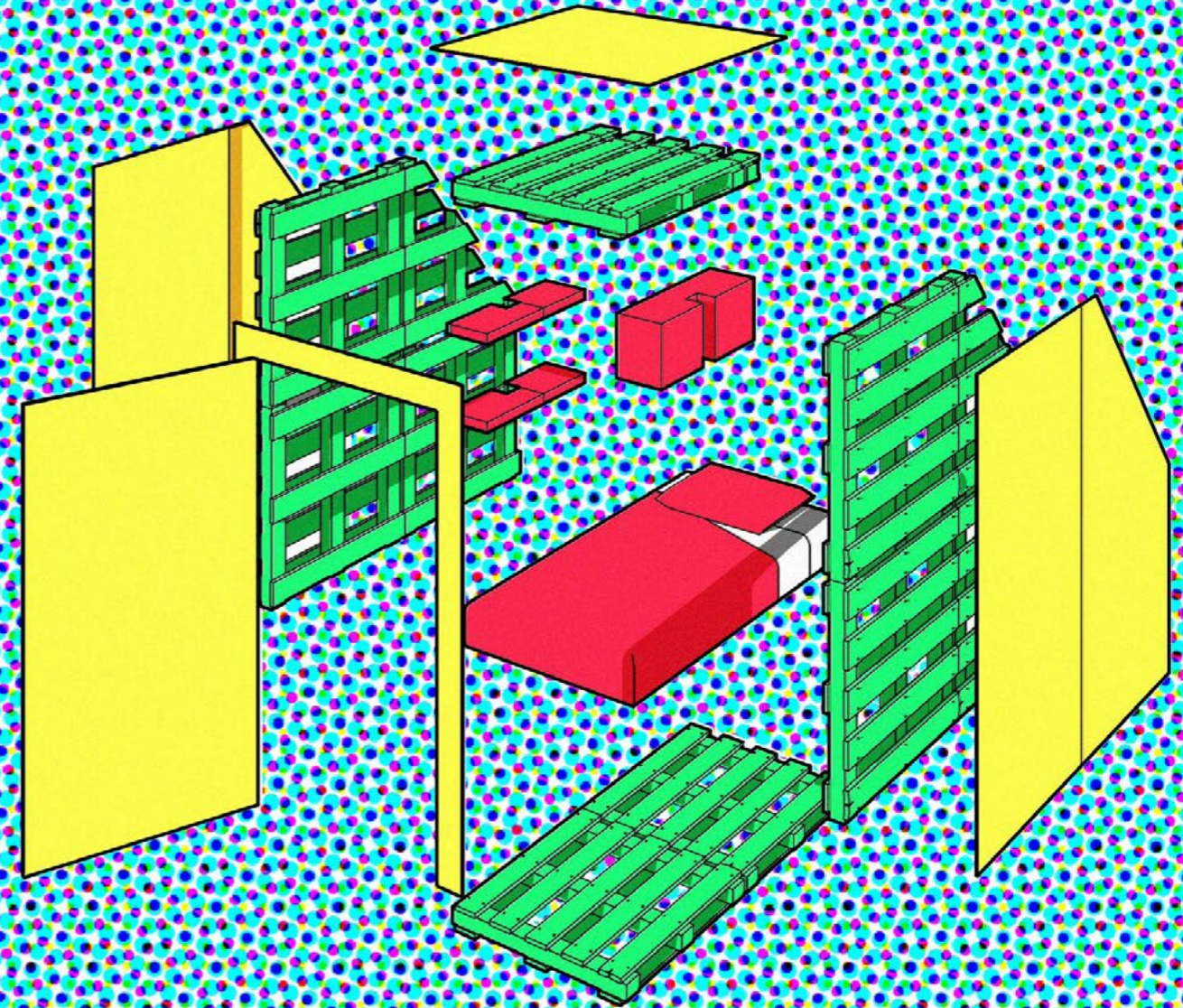


First Floor - Sleeping Pod

The Pod comprises of a stand alone structure, its key quality being that it can be modified if different materials become available. The design provides privacy, and the minimum amount for comfort, a locker for the guests things however the space is not intended for permanent stay. So consequently provides only the emergency relief for the user,

CATCH 22

CONSTRUCTION MANUAL - THE SLEEPING POD

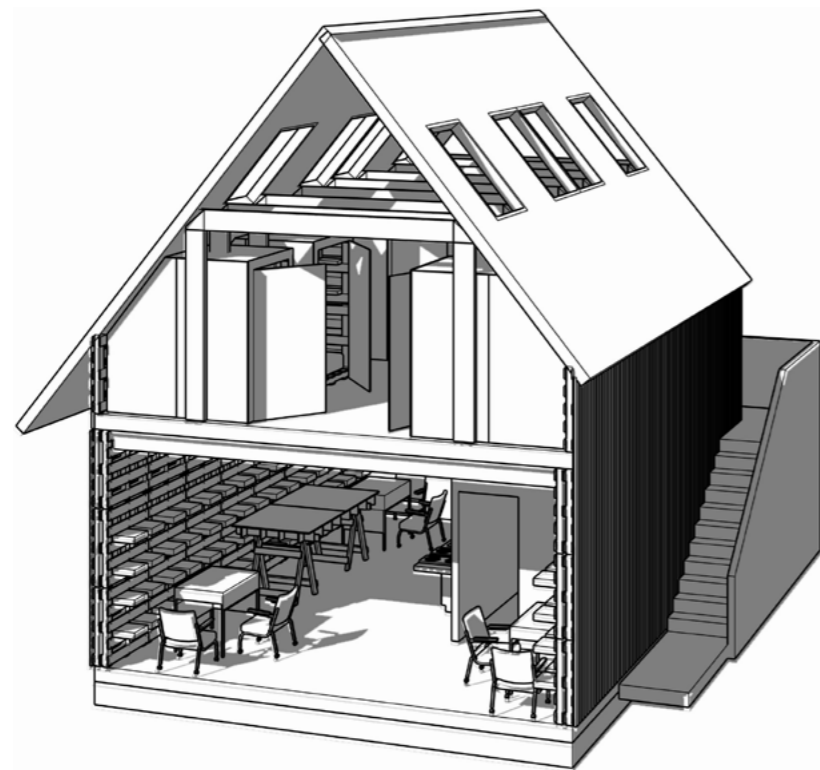


THE POD COMPRISES OF THREE ELEMENTS:

THE STRUCTURE, MADE BY UTILISING PALLETS AS THE ILLUSTRATION, RECOMMENDED 11 PER POD.

MATRESS WHICH CAN BE MADE FROM RECYCLED FOAM OR PURCHASED IF NECESSARY. CUSTOMISABLE WITH LOCKERS AND SHELVES AND

CLAD IN MATERIALS FOUND LOCAL TO SITE, MDF, PLYWOOD, OSB ETC.



Catch 22

The building incorporates a flexible space on the ground floor which can be used as a workshop during the day time, but becomes communal living area for the accommodation above on an evening. The ground floor contains the postboxes which are accessed externally.

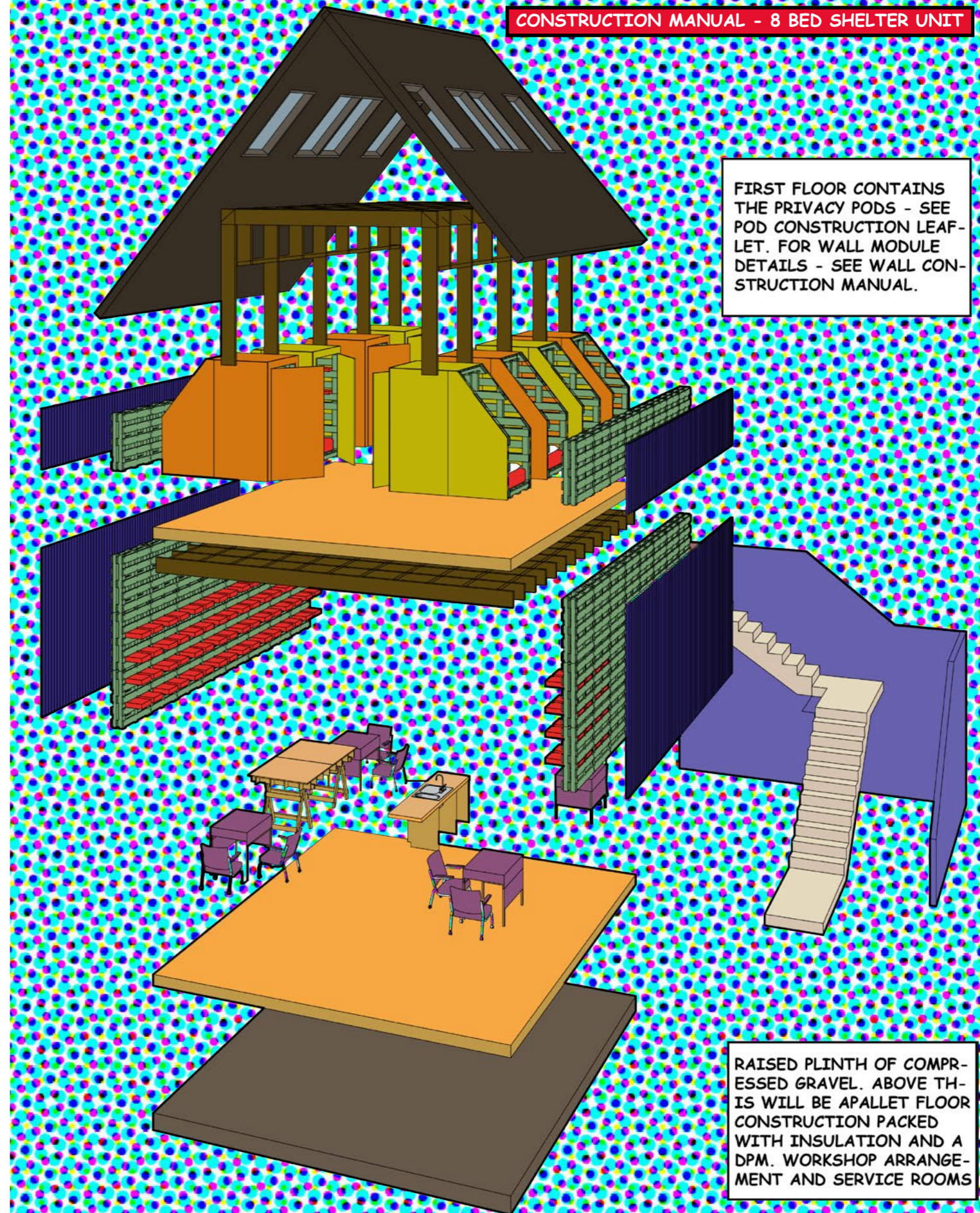
The first floor accommodation includes 8 emergency sleeping pods which are accessed via the external staircase. The beds sit within a communal dormer however privacy and security is offered through the enclosed pods in which there are shelves and storage areas for personal items and valuables.

The following pages will detail the make-up and construction of the unit.

CATCH 22

CONSTRUCTION MANUAL - 8 BED SHELTER UNIT

FIRST FLOOR CONTAINS THE PRIVACY PODS - SEE POD CONSTRUCTION LEAFLET. FOR WALL MODULE DETAILS - SEE WALL CONSTRUCTION MANUAL.



RAISED PLINTH OF COMPRESSED GRAVEL. ABOVE THIS WILL BE A PALLET FLOOR CONSTRUCTION PACKED WITH INSULATION AND A DPM. WORKSHOP ARRANGEMENT AND SERVICE ROOMS

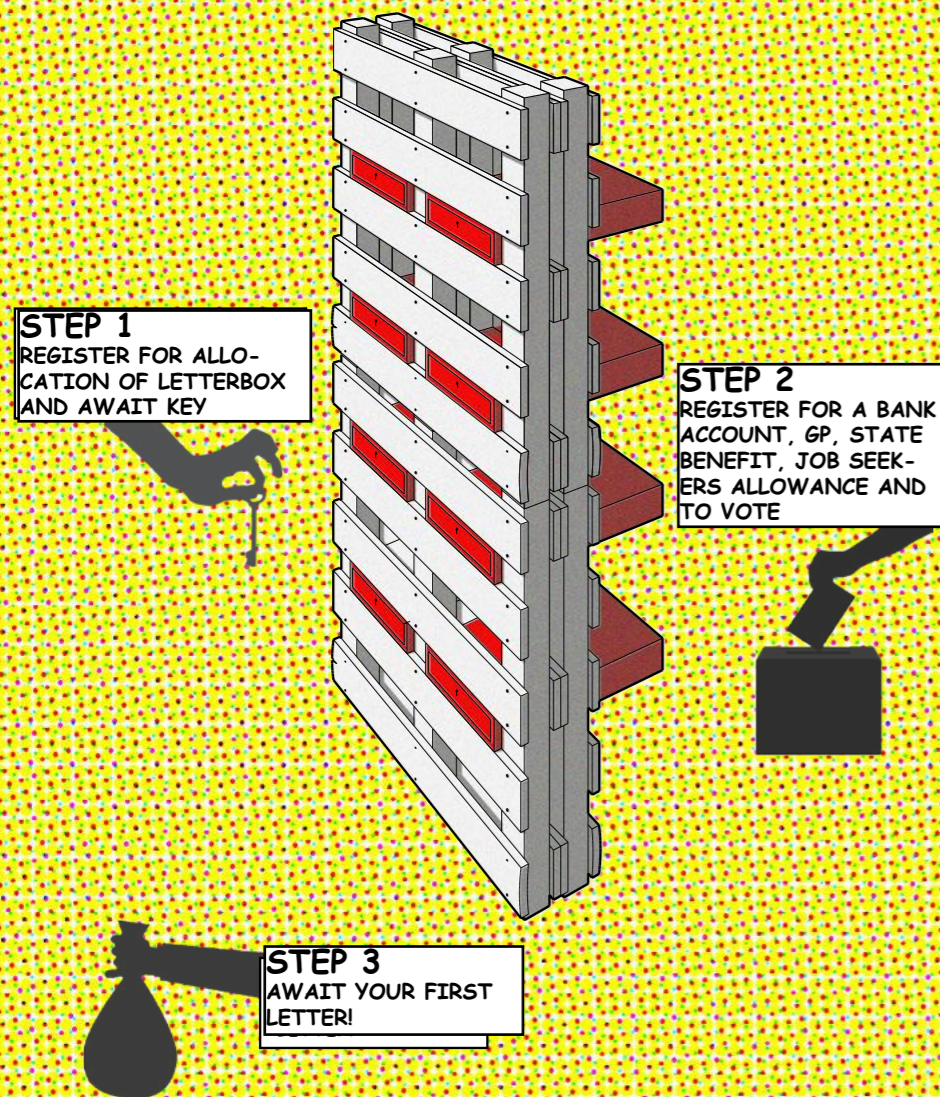
User Manual

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Geography	
Archipelago	
Postbox Expansion	
Whole Model Expansion	

User Manual

Postbox

CATCH 22



Flyer for letterbox recipients

This flyer shows an example of the simplicity of the system within our intervention. The recipient will have complete privacy in the information that they receive and will have complete access to their letterbox at all times.

From this process the recipient should be able to gain access to a bank account, Housing Allowance, Job Seekers Allowance, the National Health System, the Vote plus many more.

Workshop

CATCH 22

STEP 1
WORK IN THE UNITS
WORKSHOP FACILI-
TIES

STEP 2
LEARN HOW TO UP-
CYCLE FURNITURE AS
PART OF THE GIFT
AND TO PERSONALISE
THE SLEEPING PODS

STEP 3
USE SKILLS TO APPLY
FOR JOBS

Gain Skills for Future Job Opportunities

This flyer shows that our intervention will contain a workshop where the users of the facility will up cycle furniture as part of a 'Gift' and also to improve the standards of the shelter.

From these new skills learned in this workspace, the idea is that the individuals will depart from this facility with a set of tools that will provide them with future job opportunities.

Accommodation

CATCH 22

STEP 1
ACCESS THE EMER-
GENCY SHELTER

STEP 2
CHOOSE A SPACE FOR
A PERSONALISED
SLEEPING POD ON THE
FIRST FLOOR OF THE
BUILDING

STEP 3
ENJOY A SAFE COM-
FORTABLE NIGHT IN-
DOORS!

Temporary Shelter for Rough Sleepers

This flyer depicts the intervention as an emergency shelter for rough sleepers in desperate need. The encouragement that the shelter is temporary is to benefit the development of the individual.

The first floor of the unit will contain personalised pods, created with the use of the workshop.

Know your rights!

[Your rights]

As we have addressed through this proposal, the intervention is merely a bridge connecting, the vulnerable to the care that is needed. The irony is that the government and councils offer a lot of support to the residents of this country, yet there are still people who can't access it.

The poster to the right, is addressing the issue that some people might still assume that if they're homeless they are no longer entitled to this support. This will no longer be the case after the construction of Catch 22. Know your rights!



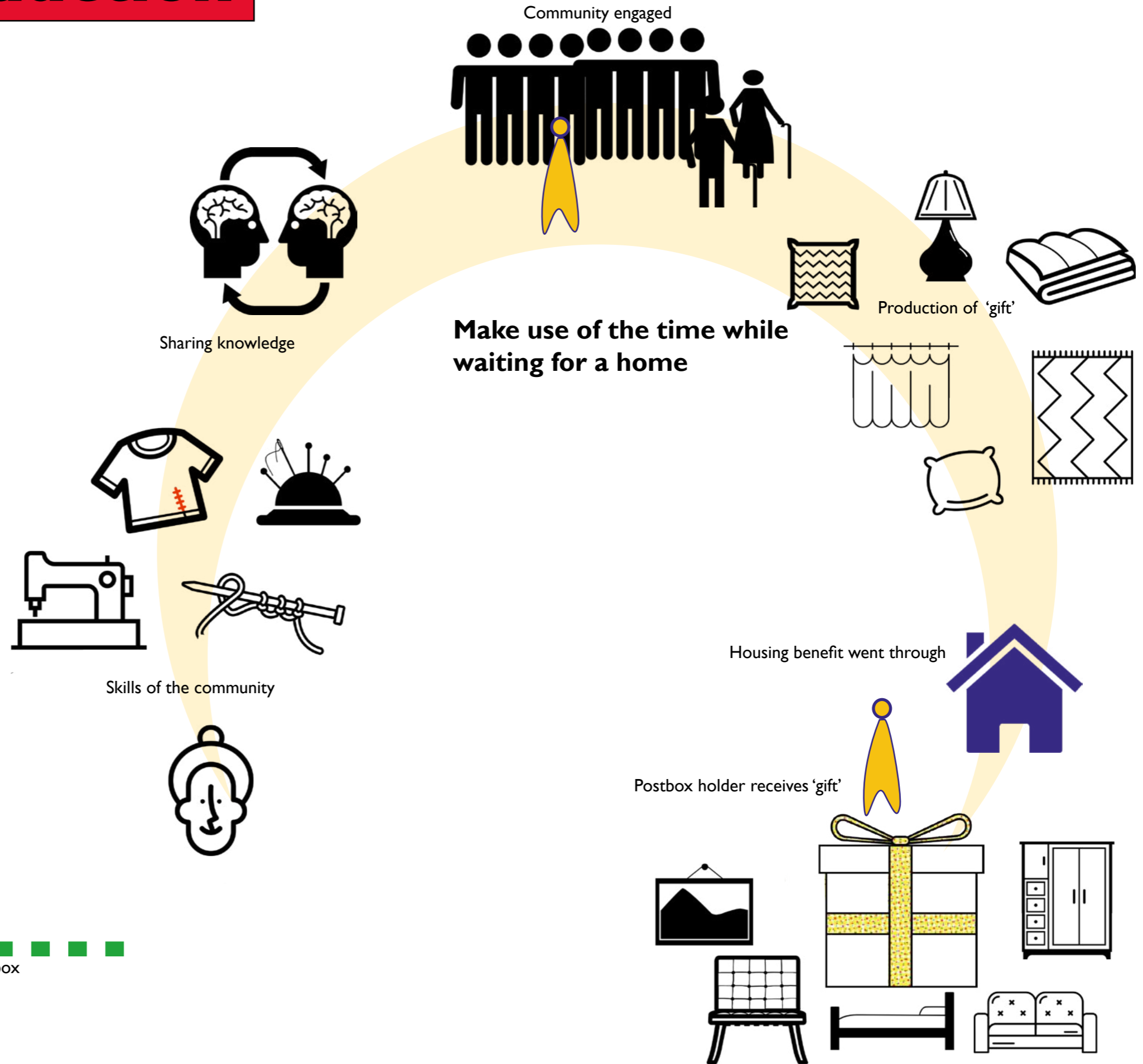
The 'Gift' Production

[a gift to engage]

The 'gift' which is received by the postbox owner once an application has been successful, comprises a set of furniture and furnishings produced by the holder and the community in the workshop.

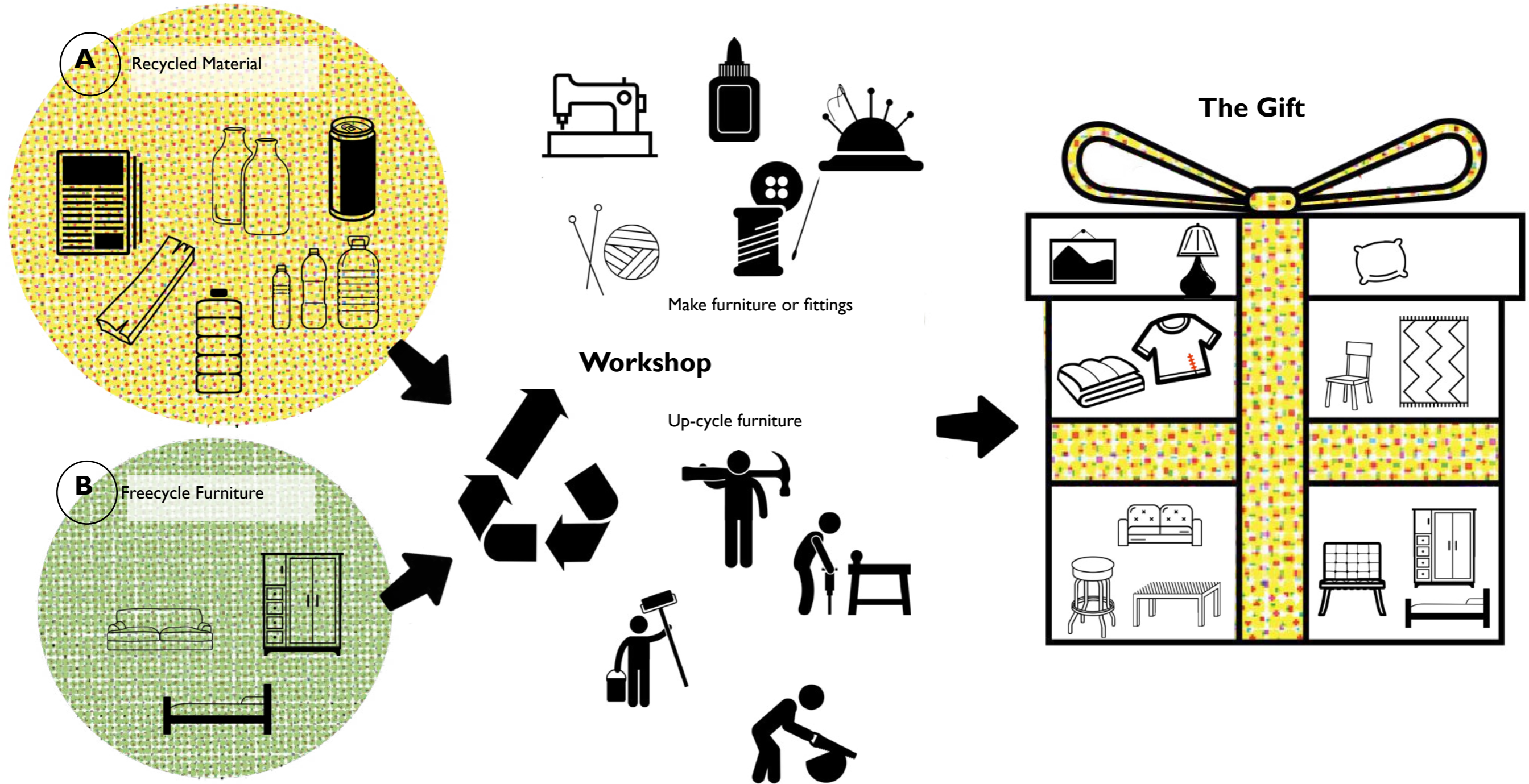
By signing onto the program the individual has the opportunity to get involved with the community and apply themselves to new skills. It is an opportunity to creatively shape an individual space by making an array of furnishings which have been established as essential to providing a better standard of living in the resident's new home.

The production of the 'gift' however allows for the whole community (old or young, woman or man) to be involved. And share knowledge to strengthen the support network.



Material Sources

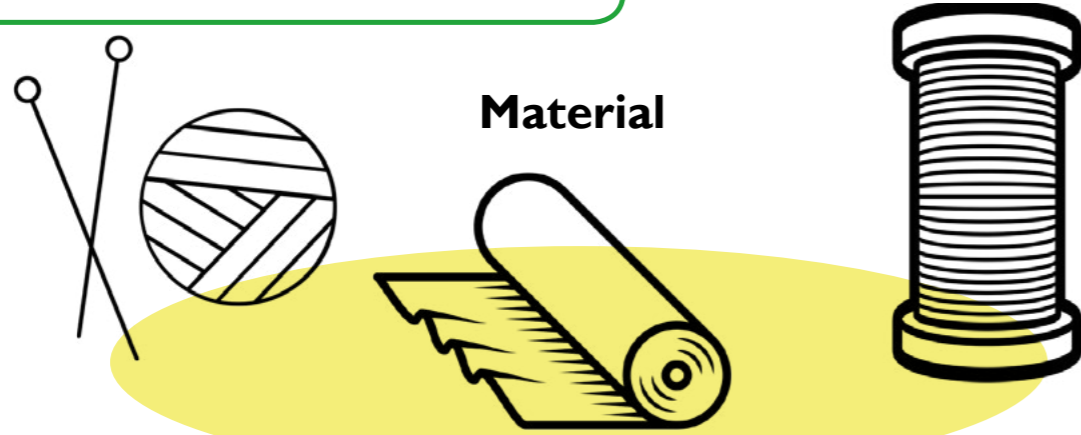
Material sources for workshop



Fabric

By establishing relationships with fabric factories we can start the production of the soft hand crafted 'gift' products. Allowing knitting, sewing, weaving and sticking to be a major method for the workshop and engage a wider range of the community into the programme.

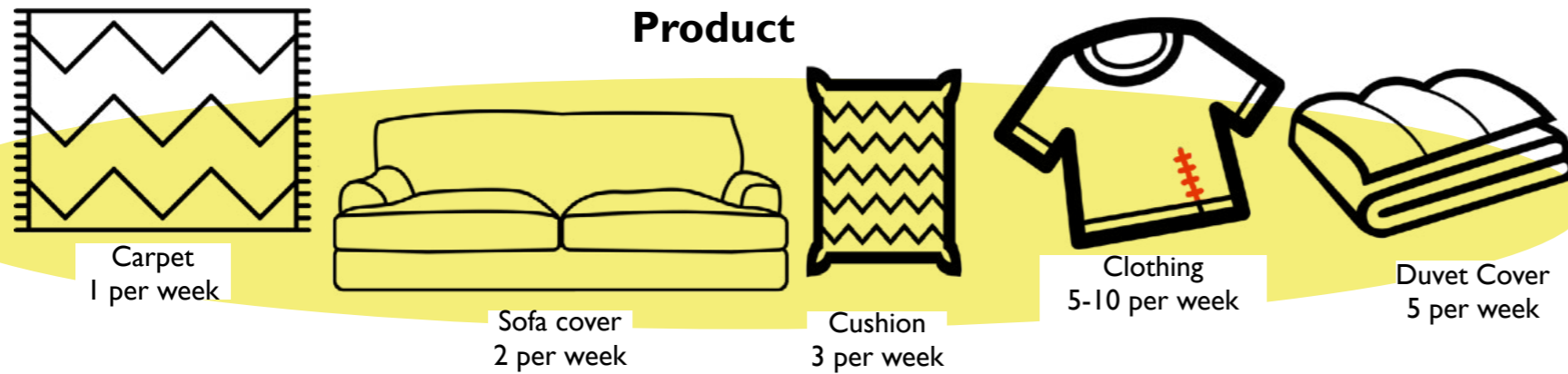
Material



Tools / Method



Product



Carpet
1 per week

Sofa cover
2 per week

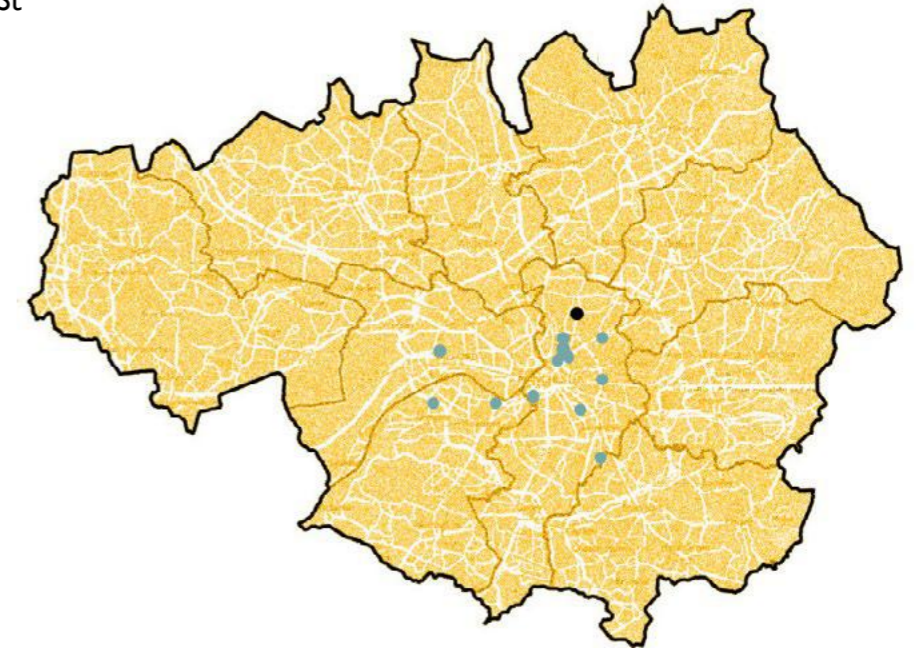
Cushion
3 per week

Clothing
5-10 per week

Duvet Cover
5 per week

Sternberg B & Sons (Textiles) Ltd
No reviews · Manufacturer
Benstern House, Elizabeth St
0161 834 6338
fabric
yarn, wool

Abakhan Fabrics
111-115 Oldham St
0161 839 3229
Open until 17:15
fabric
buttons, yarn, wool



Visage Textiles Ltd.
No reviews · Textile Merchant
9-11 Chatley St
0161 832 2213
fabric

M.I.A Fashions
4 reviews · Clothes and Fabric Wholesaler
41 Broughton St
0161 819 2323
fabric, leather

Furniture Up-cycle

Furniture will be sourced from freecycle.org, which is a grassroots and entirely non-profit organisation of people who are giving (and getting) stuff for free from their local area in order to keep useful stuff out of landfill.



1. Weekly check for furniture



2. Contact donator arrange pick up



3. Logistic arrangement to pick up furniture

Up-cycle in the Workshop



Up-cycling - Tyres

Main Material Collaborator

Address:

UK No 1 Tyres
111 Cheetham Hill Rd, Manchester
M8 8PY

Tel. No:

07577 286172

Contact:

James Warrick

Material Properties

Mechanical Properties

- Brittle
- Compressive Strength
- Tensile Strength
- Hardness
- Stiffness
- Modular

Other

- Flammable
- Thermally Insulating
- Acoustically Insulating
- Corrosive
- Magnetic
- High embodied energy
- Conductivity

Material Dimensions per unit:

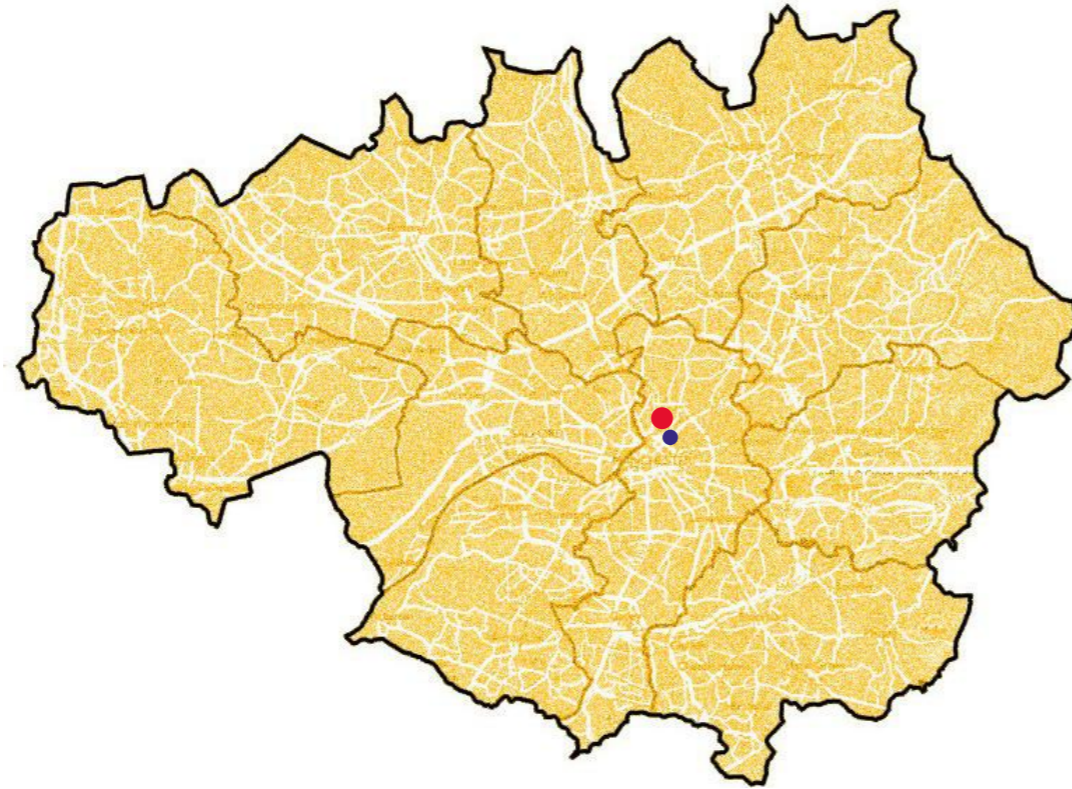
Weight: 7kg
Dimensions: 13"/17" diameter
Approx Load Capacity: unknown

Amount Available:

10

Temporal Sequence:

Tbc



Material Index

- Tyre
- Foam
- Cloth
- Glue
- Wood

Production method:



Seating and Table made from tires <http://www.fabartdiy.com/wp-content/uploads/2015/02/FabArtDIY-Ways-to-Repurpose-Old-Tires2.jpg> (8.11.2016)



<http://homesthetics.net/45-diy-tire-projects-how-to-creatively-upcycle-and-recycle-old-tires-into-a-new-life/> (8.11.2016)

Up-cycling - Pallets

Main Material Collaborator

Address:
Welcome Centre,
Cheetham Hill, Manchester
M8 0TW

Tel. No:
0161 792 9760
Contact:
Mark

Material Properties

Mechanical Properties

- Brittle
- Compressive Strength
- Tensile Strength
- Hardness
- Stiffness
- Modular

Other

- Flammable
- Thermally Insulating
- Acoustically Insulating
- Corrosive
- Magnetic
- High embodied energy
- Conductivity

Material Dimensions per unit:

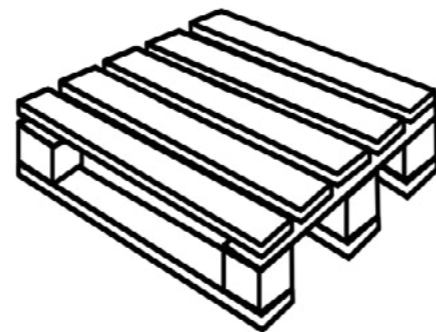
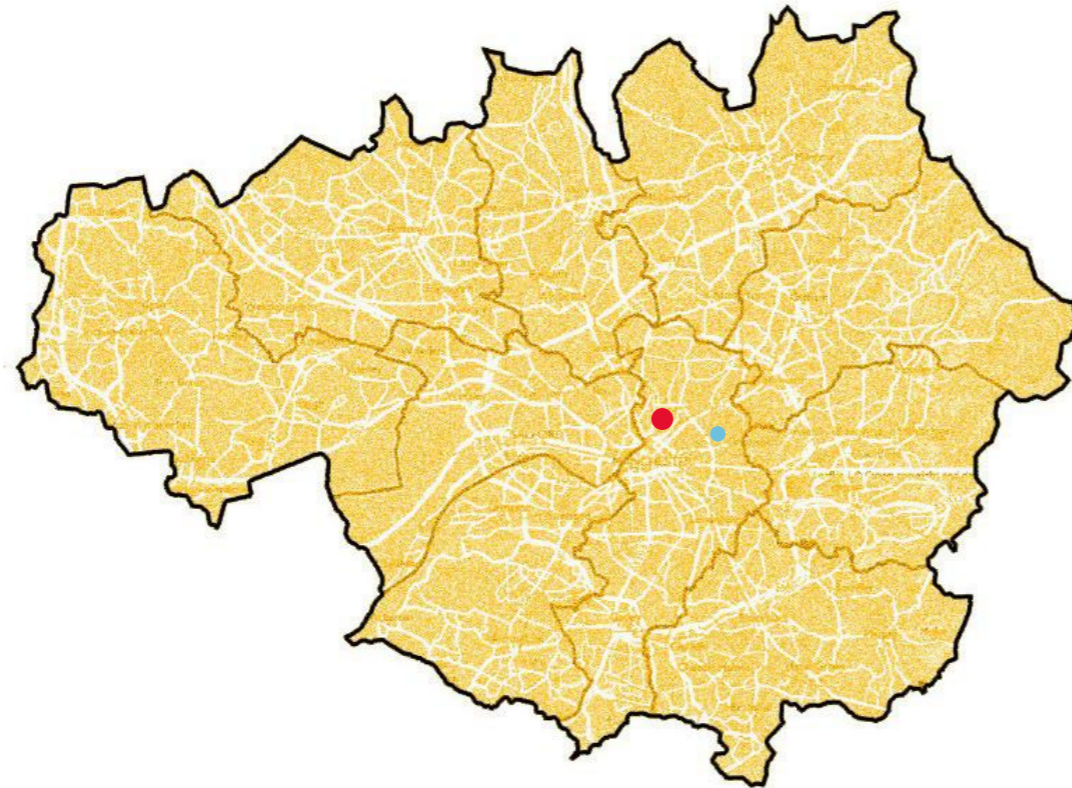
Weight: 18kg
Dimensions: 1000 x 1000 x 120 mm
Approx Load Capacity: <500kg

Amount Available:

Leftover from construction

Temporal Sequence:

Tbc



Material Index

- Pallets
- Cloth
- Paint
- Foam
- Glue/Staples

Production method:



Pallet library <http://cdn.homedit.com/wp-content/uploads/2011/08/diy-shipping-pallet-bookshelf-and-bike-rack.jpg> (8.11.2016)



Pallet Bed https://blog.griffintechology.com/wp-content/uploads/sites/2/2015/11/SCL_015_BLG-PalletFurniture_01.png (8.11.2016)



Up-cycle - Plastic Bottles

Main Material Collaborator

Address:

Emerge
Whitworth Street East, Manchester
M11 2WJ

Tel. No:

0161 2238200

Contact:

Gareth Jones

Material Properties

Mechanical Properties

- Brittle
- Compressive Strength
- Tensile Strength
- Hardness
- Stiffness
- Modular

Other

- Flammable
- Thermally Insulating
- Acoustically Insulating
- Corrosive
- Magnetic
- High embodied energy
- Conductivity

Material Dimensions per unit:

Weight: miscellaneous

Dimensions: miscellaneous

Approx Load Capacity: none

Amount Available:

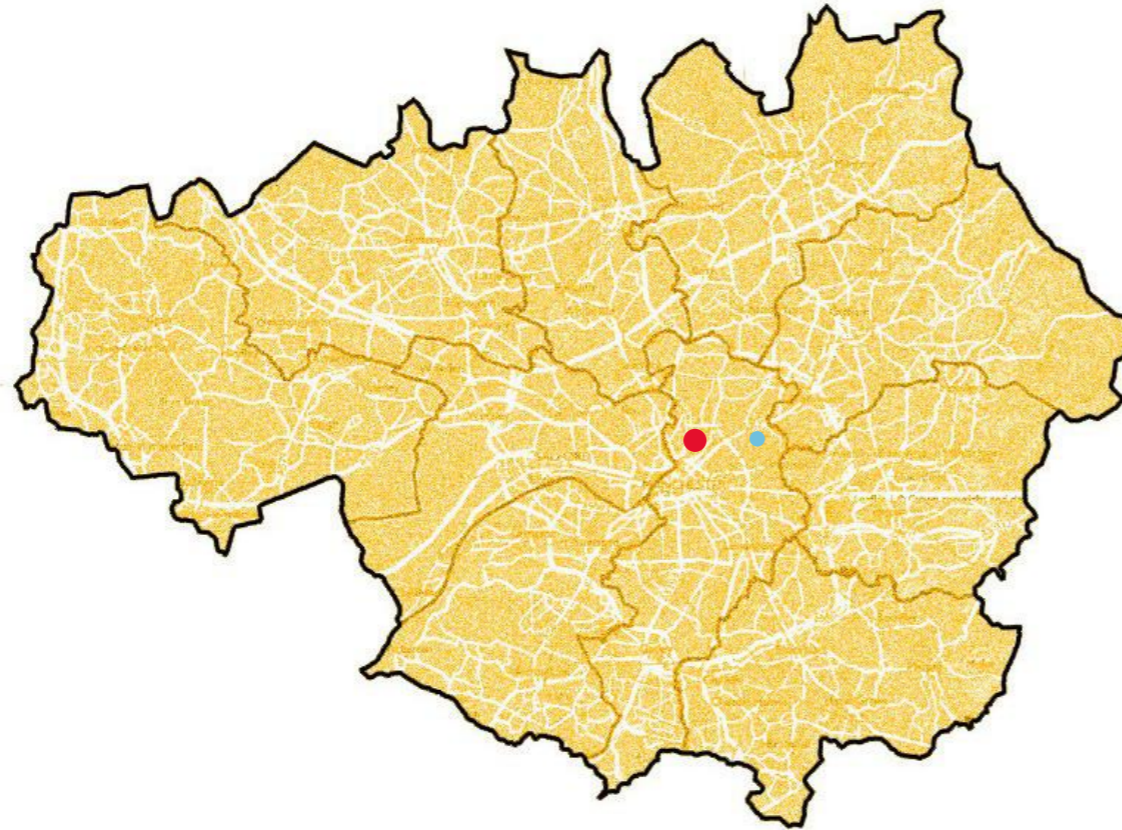
>21

Amount Required per unit:

120m²

Temporal Sequence:

Tbc



Steph (2011) An other way of up-cycling plastic bottles . Available at: <http://upcycleus.blogspot.co.uk/2011/08/other-way-of-upcycling-plastic-bottles.html> (29.11.2016)

Potential City Centre Sites

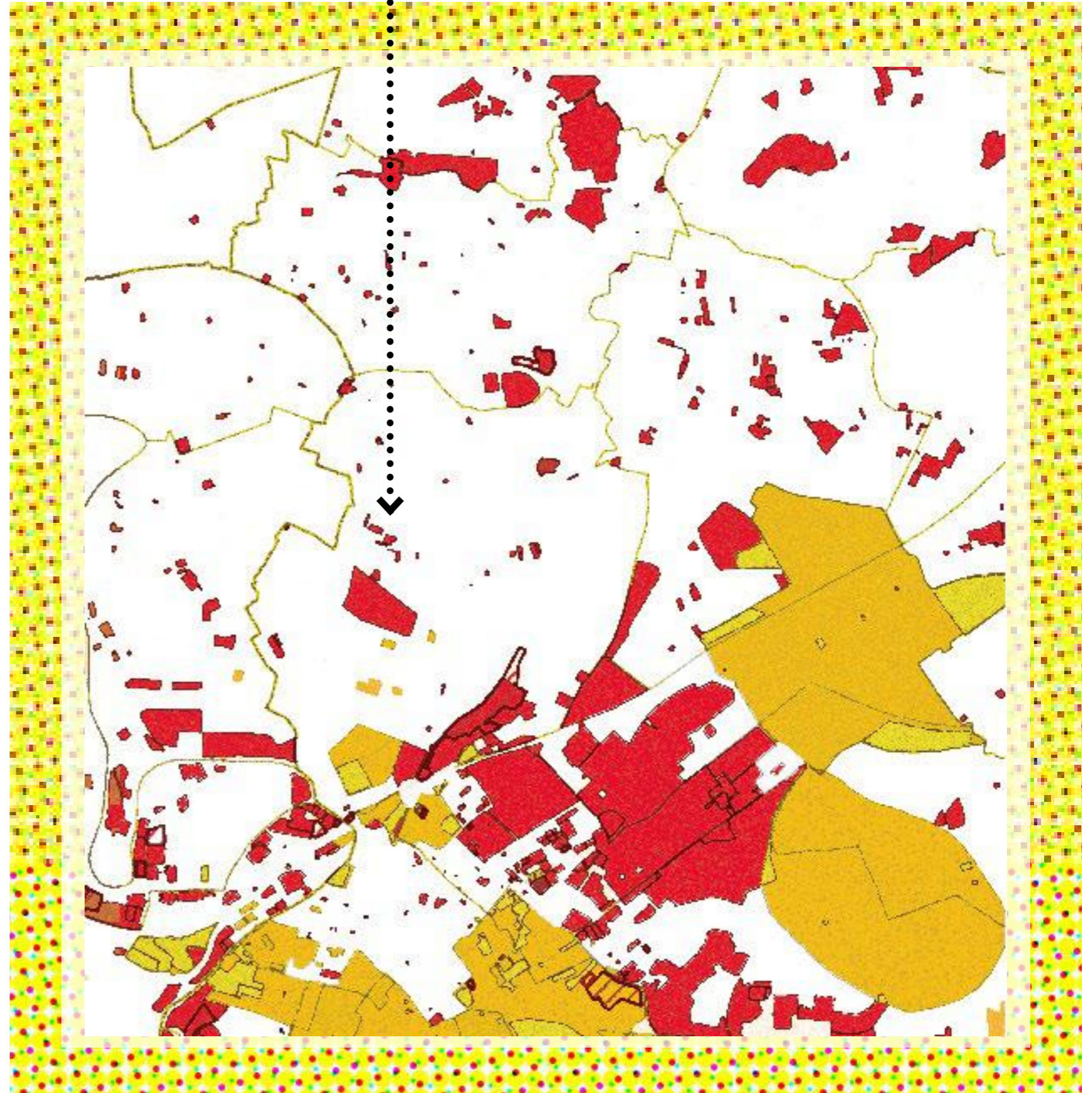
[expansion of scheme]

Future expansion just postboxes? - Not just about the workshop - postboxes can be built here and then shipped out by order. Depends on whether accommodation is the thing that is needed? Something to be determined after the initial one is set up

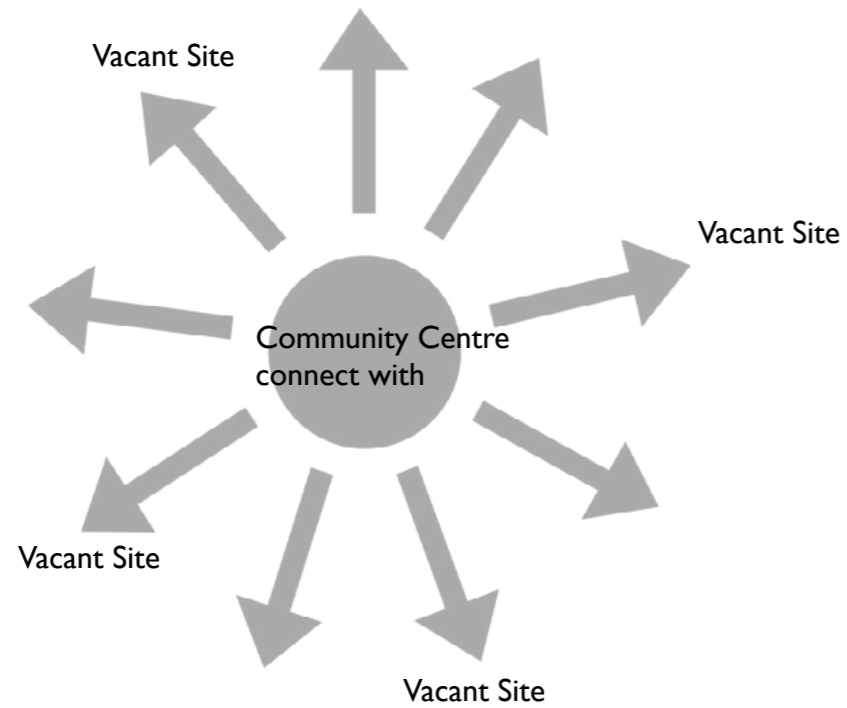
Vacant Sites within 1 mile radius of Community Centre

- Residential Space
- Industrial Space
- Office Space

Site:
Cheetham Hill Community Centre



Initiate the Archipelago

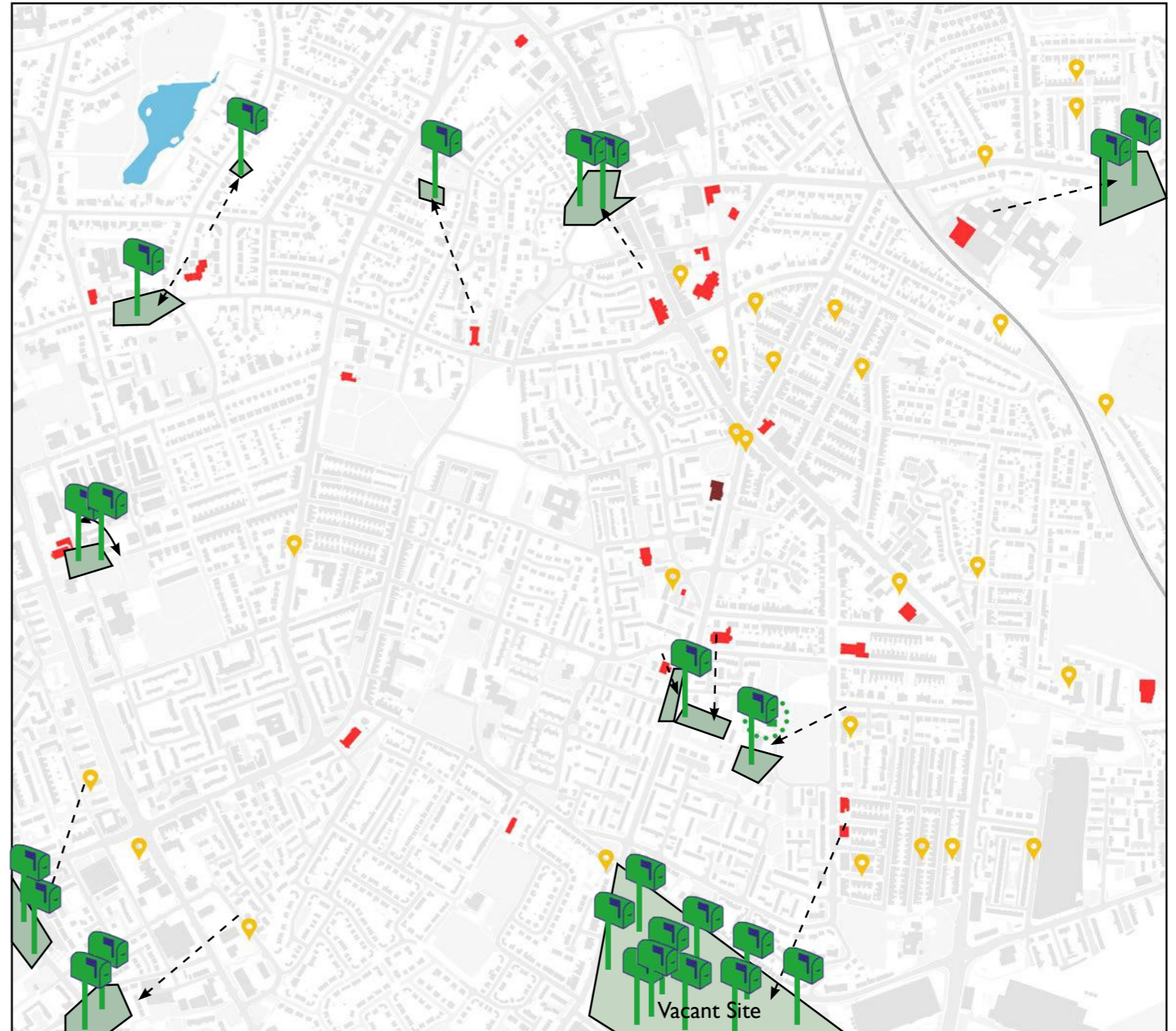


[expansion of scheme]

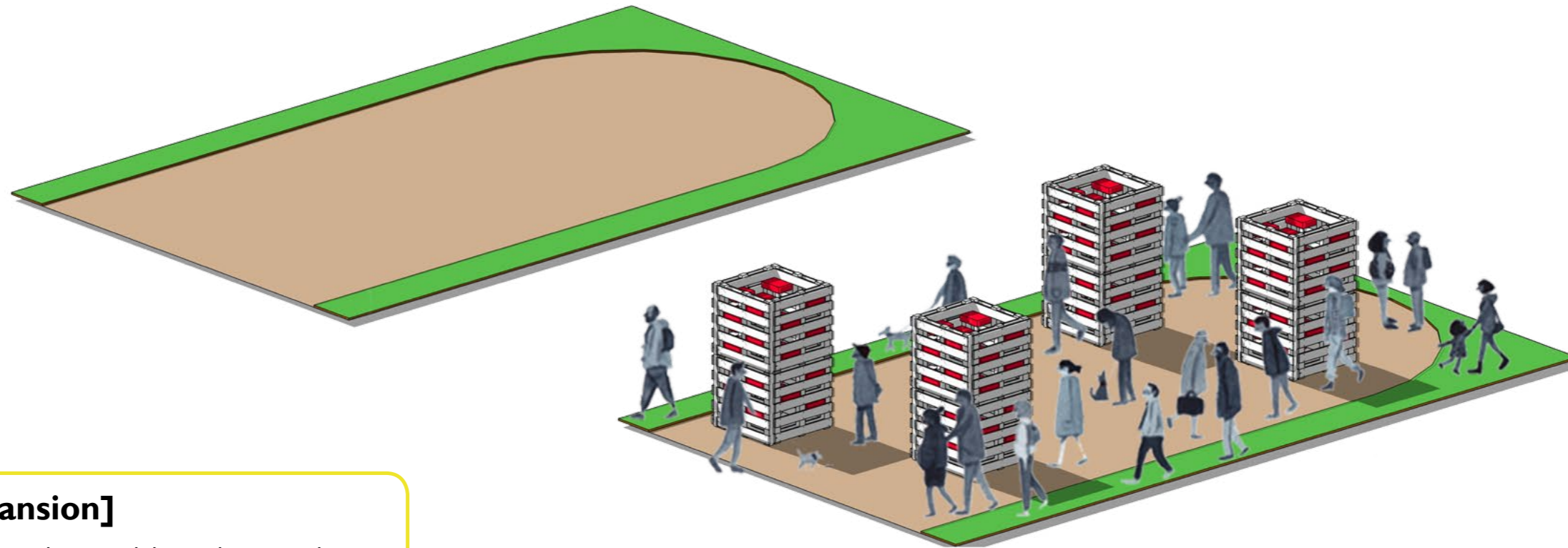
Our intervention addresses an issue which is prominent in Cheetham Hill but imminent all over the country. The intervention can be distributed fast if we initially detach the postbox from the workshop element.

This could be done by using the existing support network in Cheetham Hill by overlaying the vacant sites with the current communal site we can see which centre are close to current vacant. Spaces. They could act as the basis to out source the management for further postbox schemes to each of these centres.

Innovation is only valuable if it is shared



Postbox Expansion



[expansion]

As we have discovered during this research in resettling displaced populations the ability to provide a stable address is essential.

There is potential for the scheme to be confined to small open unused spaces as a sculptural postboxes in areas that currently lack the infrastructure for effective re-homing.

This image shows the unit in use in a potential brownfield area.

Postbox Expansion



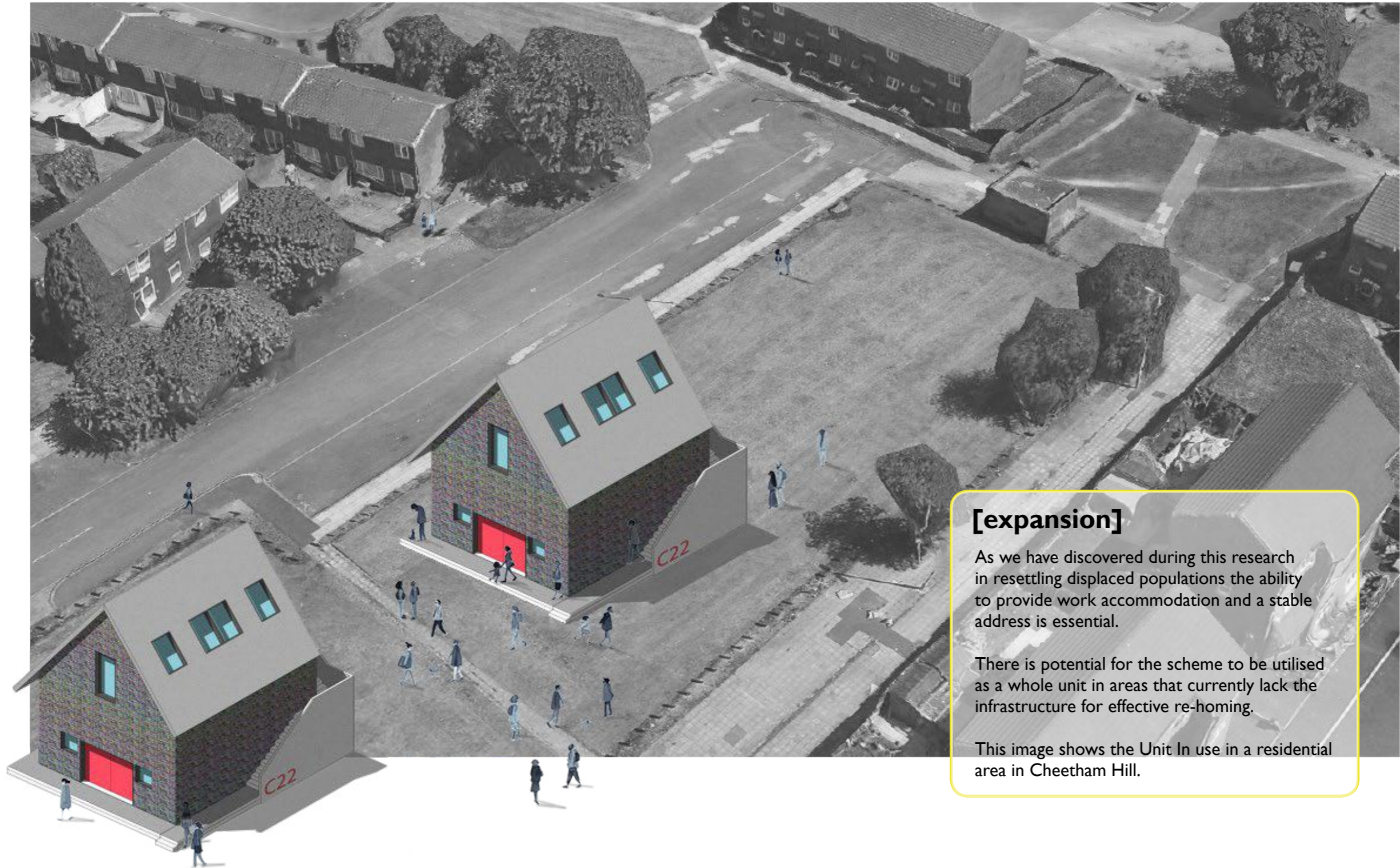
[expansion]

As we have discovered during this research in resettling displaced populations the ability to provide a stable address is essential.

There is potential for the scheme to be manipulated as a sheltered wall of postboxes that take advantage of an existing structure in the local area.

This image shows the unit fixed up to some residential buildings in use in the area.

Whole Model Expansion



[expansion]

As we have discovered during this research in resettling displaced populations the ability to provide work accommodation and a stable address is essential.

There is potential for the scheme to be utilised as a whole unit in areas that currently lack the infrastructure for effective re-homing.

This image shows the Unit In use in a residential area in Cheetham Hill.

Why do we Expand?

[expansion]

The reasons for up-scaling are to create a mass voice in order to encourage change and it also allows the passage for other communities to see that they need to change.

Showing that an alternative way of achieving something is a good start, however it is important to convince others to the cause for the voice to be heard at government and organisational level.

This kind of expansion of ideas is a very good way of showing solidarity and living as though they aren't changing anything - which indicates a thoroughly prefigurative piece of architecture.



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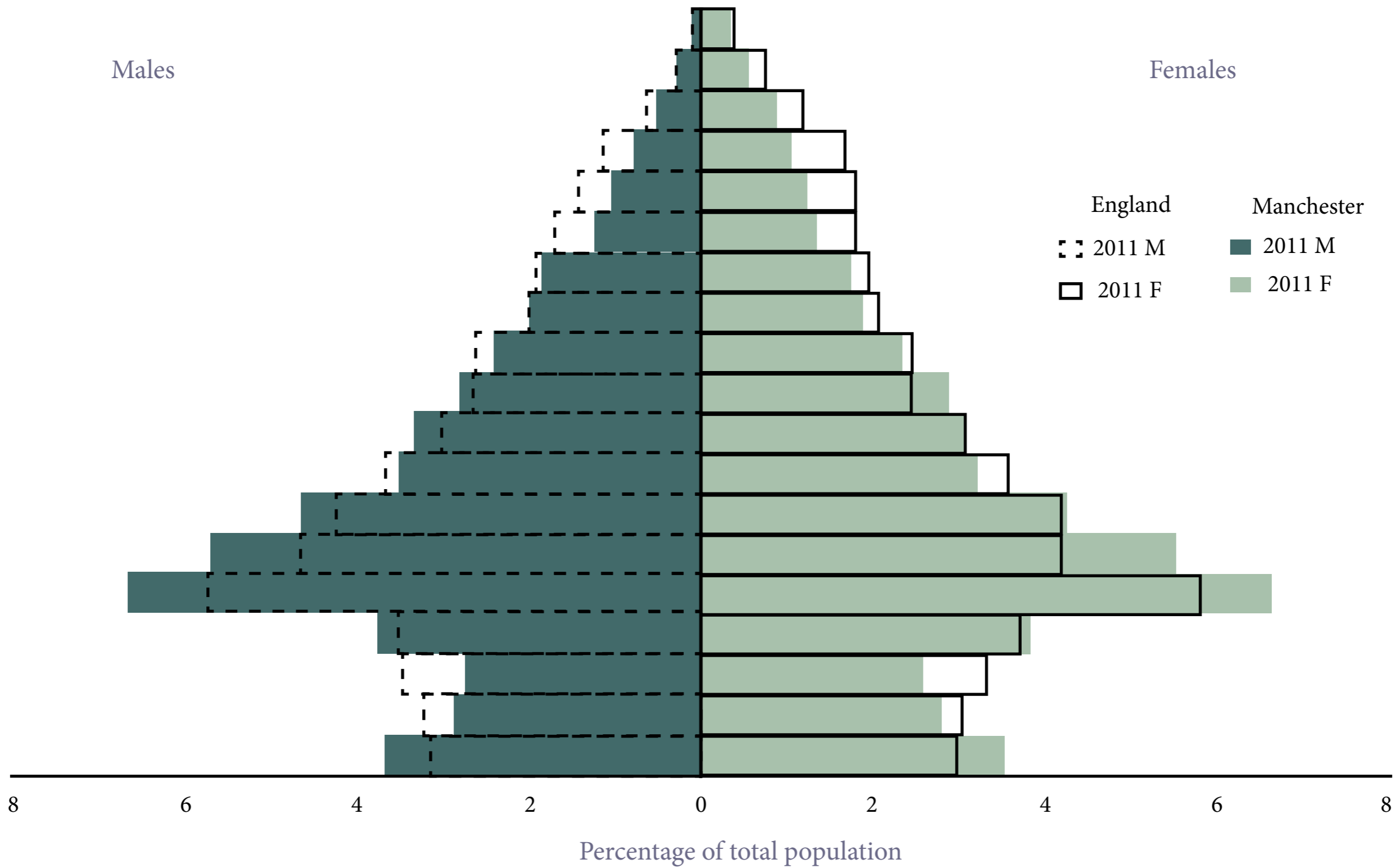
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Appendix

Hard Data	2	Services	
Population		Homeless Review	
Demographic		Policy Rights	
Migration		Council Failures	
Economy			
Average Wages		Living Home Standard	39
Benefit Claims		Affordability	
Employment & Training		Decent Condition	
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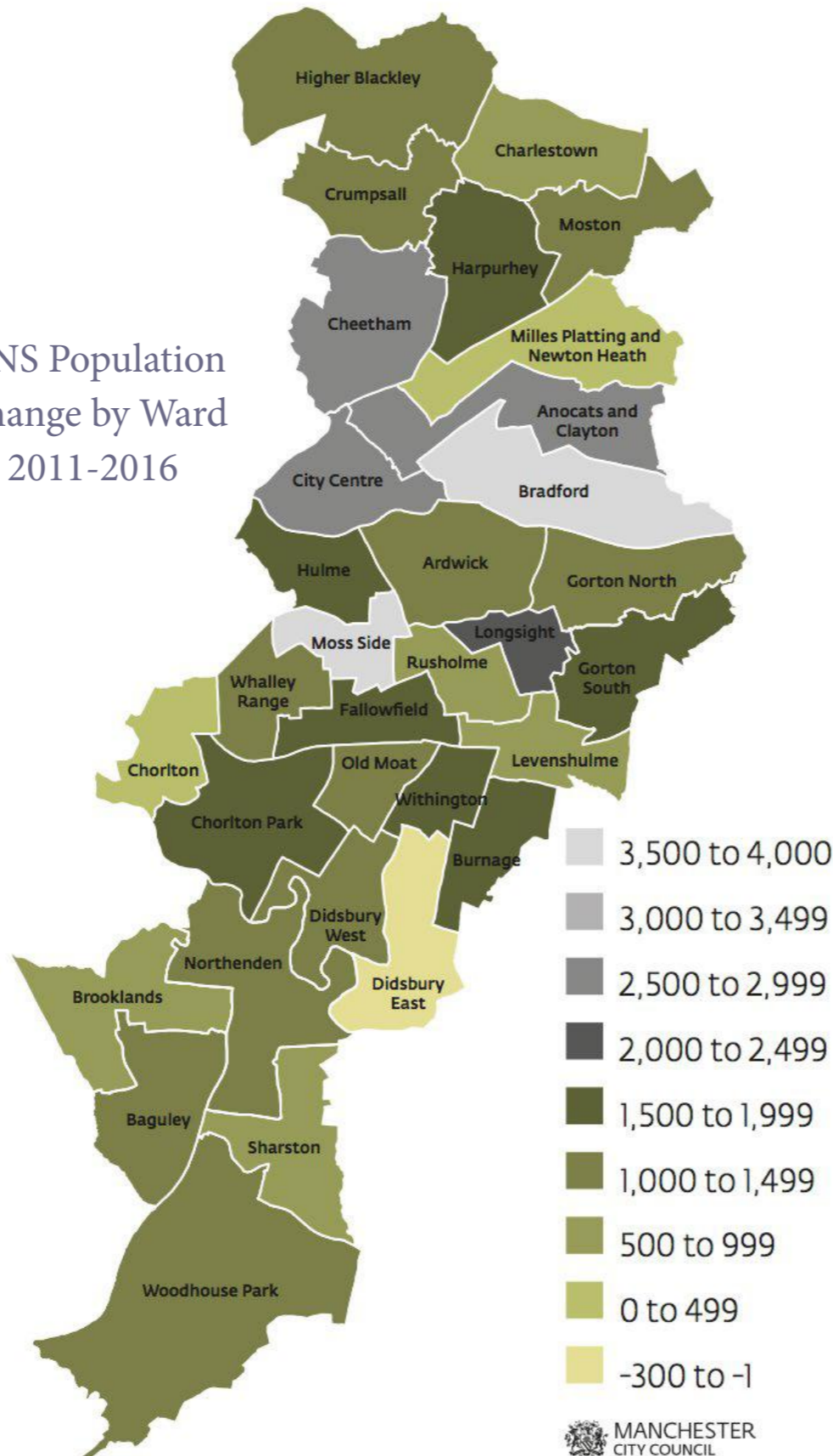
Population Percentages



[Source: ONS 2011 Census]

Manchester Population

ONS Population Change by Ward 2011-2016



Change in recent years has seen the population of the city grow beyond the 2015 target set in the Community Strategy.

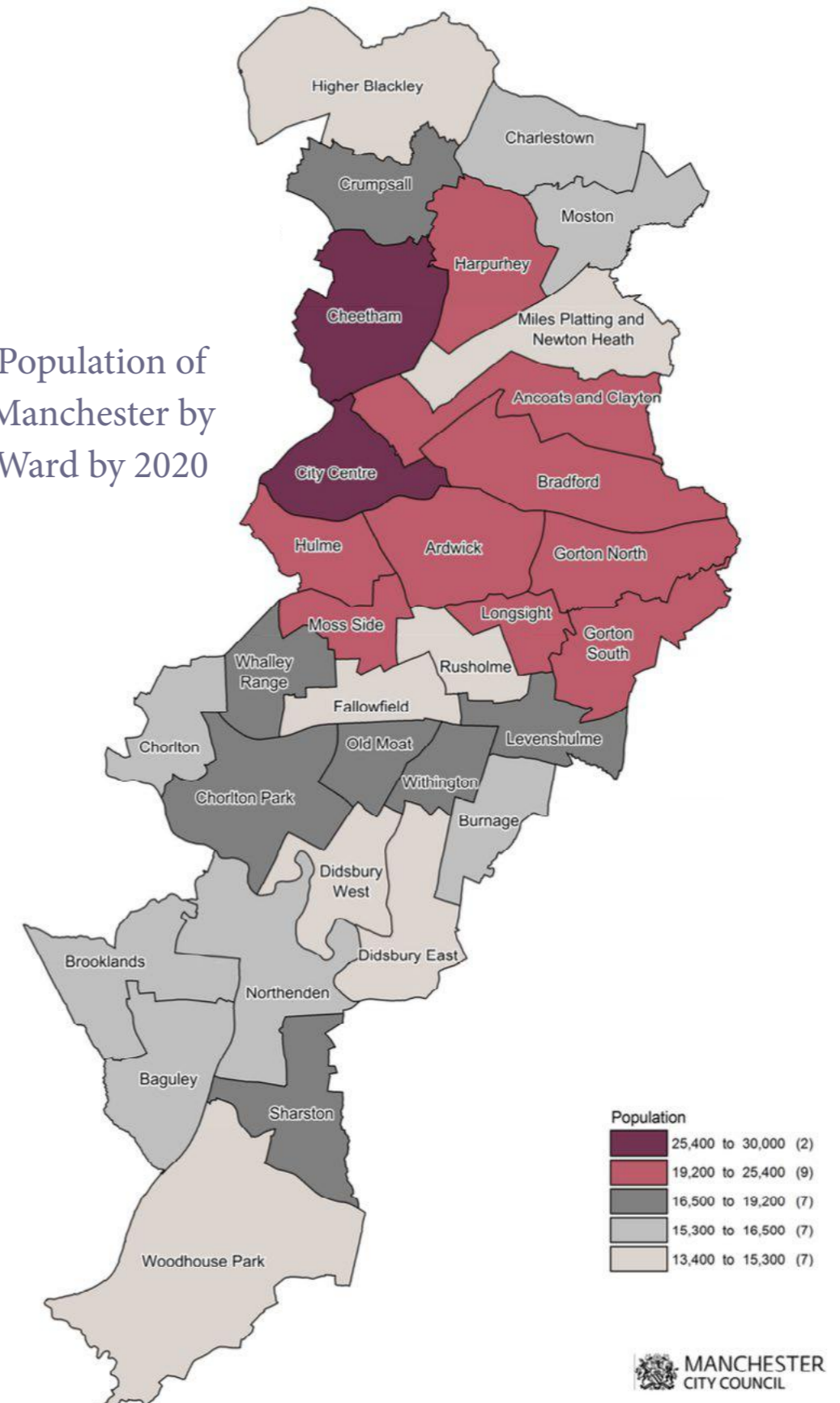
The latest census took place in March 2011 and estimated that Manchester was the fastest growing city outside London, having grown by 19% over the decade, reaching just over 500,000 (503,127).

According to 2011 Census data, Manchester is moving towards:

- smaller average household sizes
- more single people aged under 65
- a relative decline in the number of households made up of families with children.

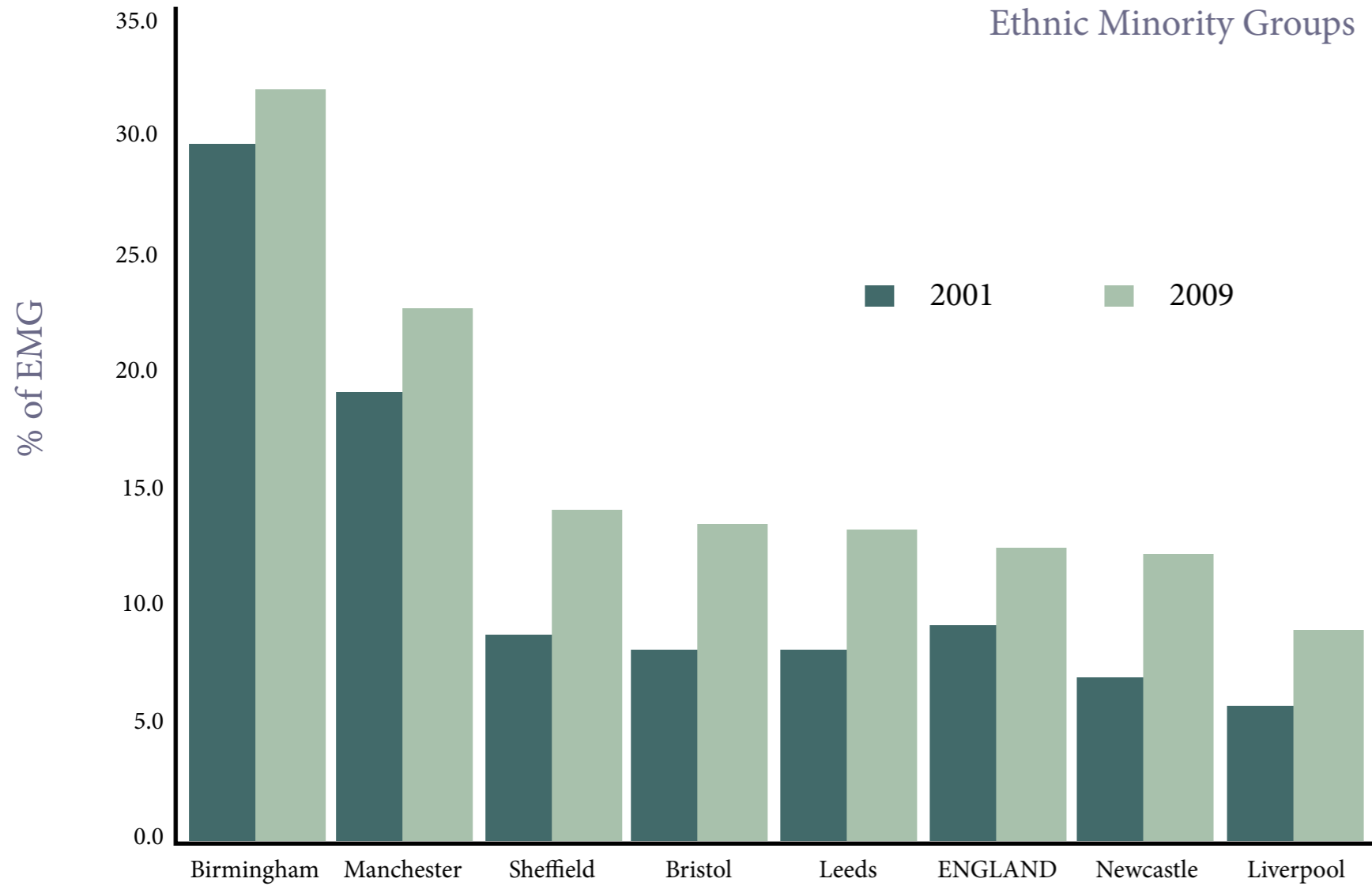
This means the average household size is set to be lower over the next decade and, with the increase in private sector renting, more transient.

Population of Manchester by Ward by 2020



[Source: HMRC 2010]

Ethnic Minority Groups



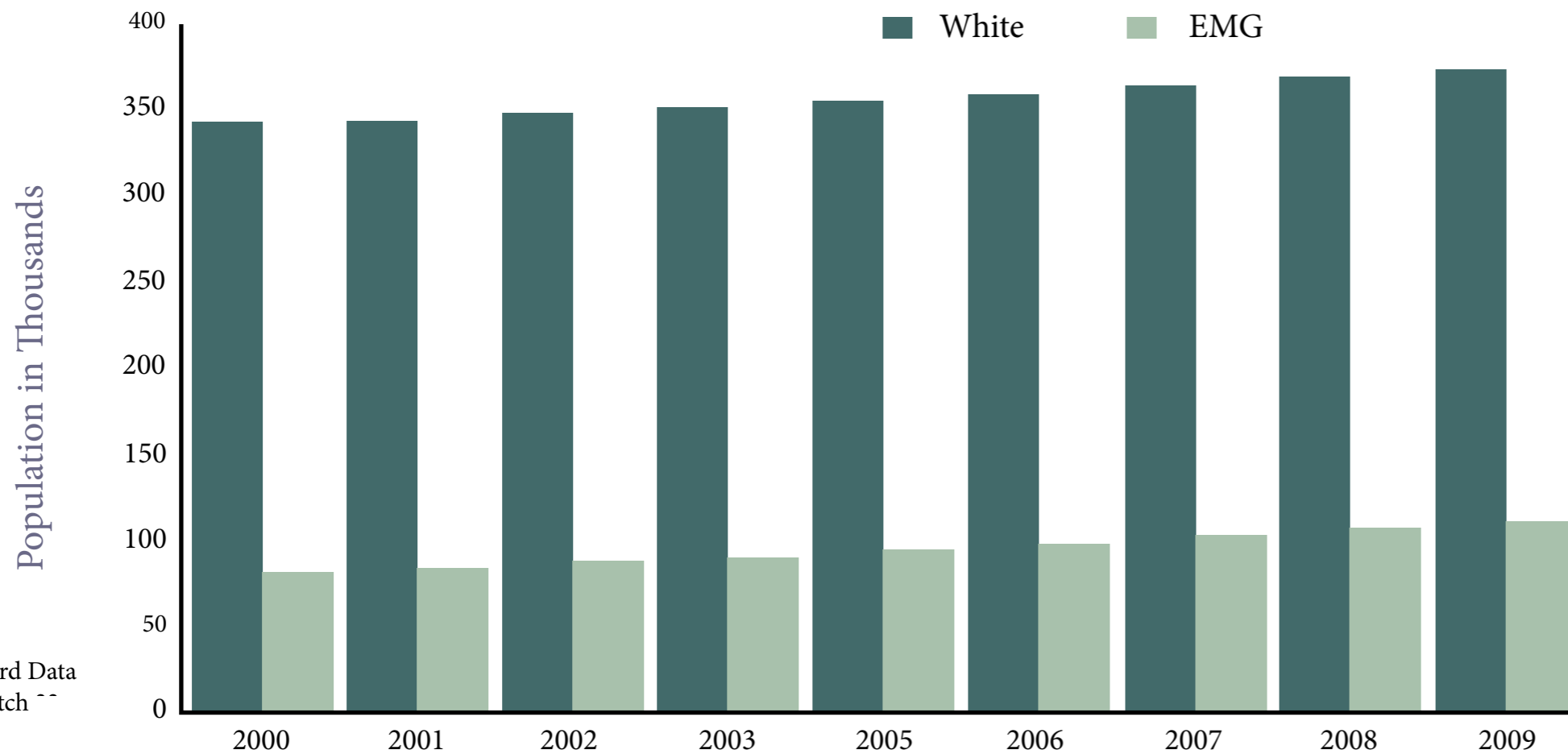
Cheetham is a vibrant and diverse North Manchester ward which is home to residents from a wide variety of faiths, cultures and nationalities. The ward borders Crumpsall and Harpurhey wards to the north and east, Manchester City Centre to the south and Salford City Council to the west.

In 2009, Cheetham ward's population stood at approximately 19,800, an increase of 30.5% since 2001. Population density is higher than the city average, with average household size higher than Manchester as a whole.

In 2007 it was estimated that over half of Cheetham's population belonged to a non-white ethnic group. The Pakistani community is the largest of all non-white ethnic populations, making up 26.0% of Cheetham's total population. Other ethnic groups make up 9.1% of Cheetham's population, with 5.2% of the population from Mixed backgrounds.

There are also significant Indian and black African populations, at 4.6% and 4.0% respectively. 3.1% of Cheetham's population is Chinese, 1.7% is black Caribbean and 0.4% is Bangladeshi.

Source: ONS 2011 Census



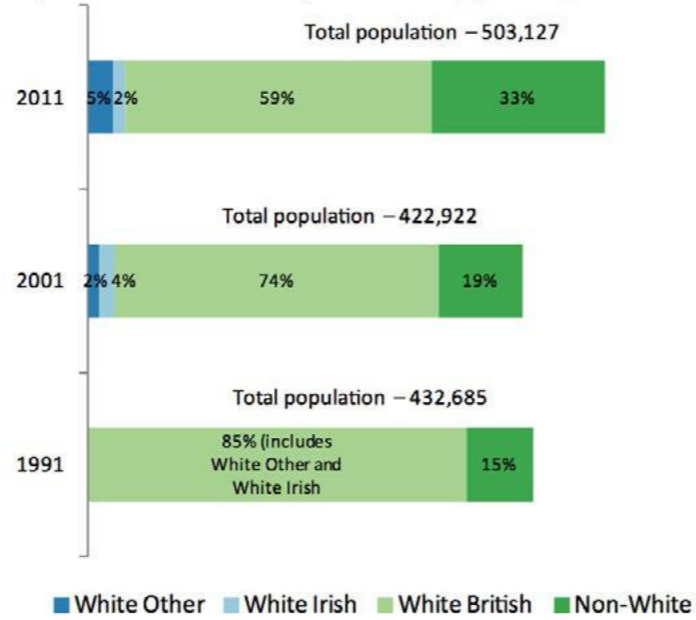
Hard Data
Catch

[Source: ONS 2011 Census]

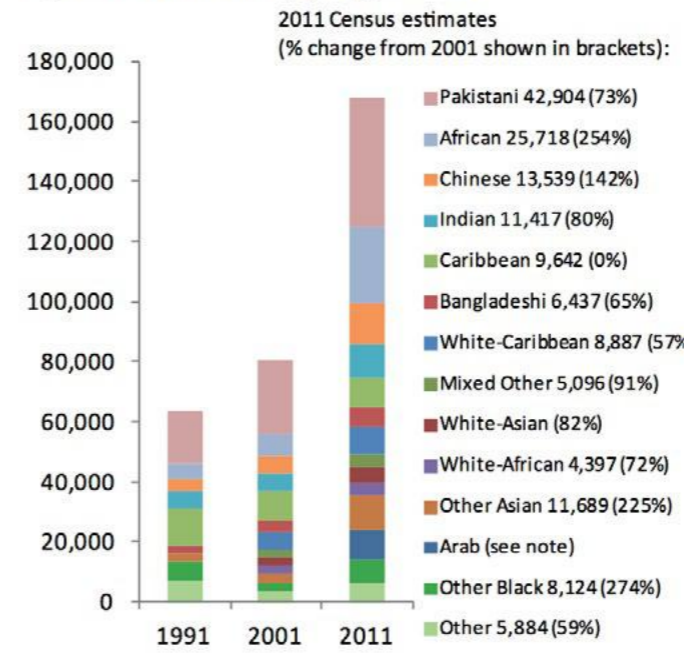
Manchester Demographic: Ethnicity

Figure 1. Ethnic diversity in Manchester, 1991-2011

a) Increased ethnic minority share of the population, 1991-2011



b) Growth of ethnic minority groups, 1991-2011



Despite this growth, the White British ethnic group, only measured since 2001, remains the largest group in Manchester (59%) and Greater Manchester (80%).

New measures in the 2011 Census show that Manchester is not becoming less British, despite its increased ethnic diversity. More people report a British or English national identity in Manchester than report White British ethnic identity.

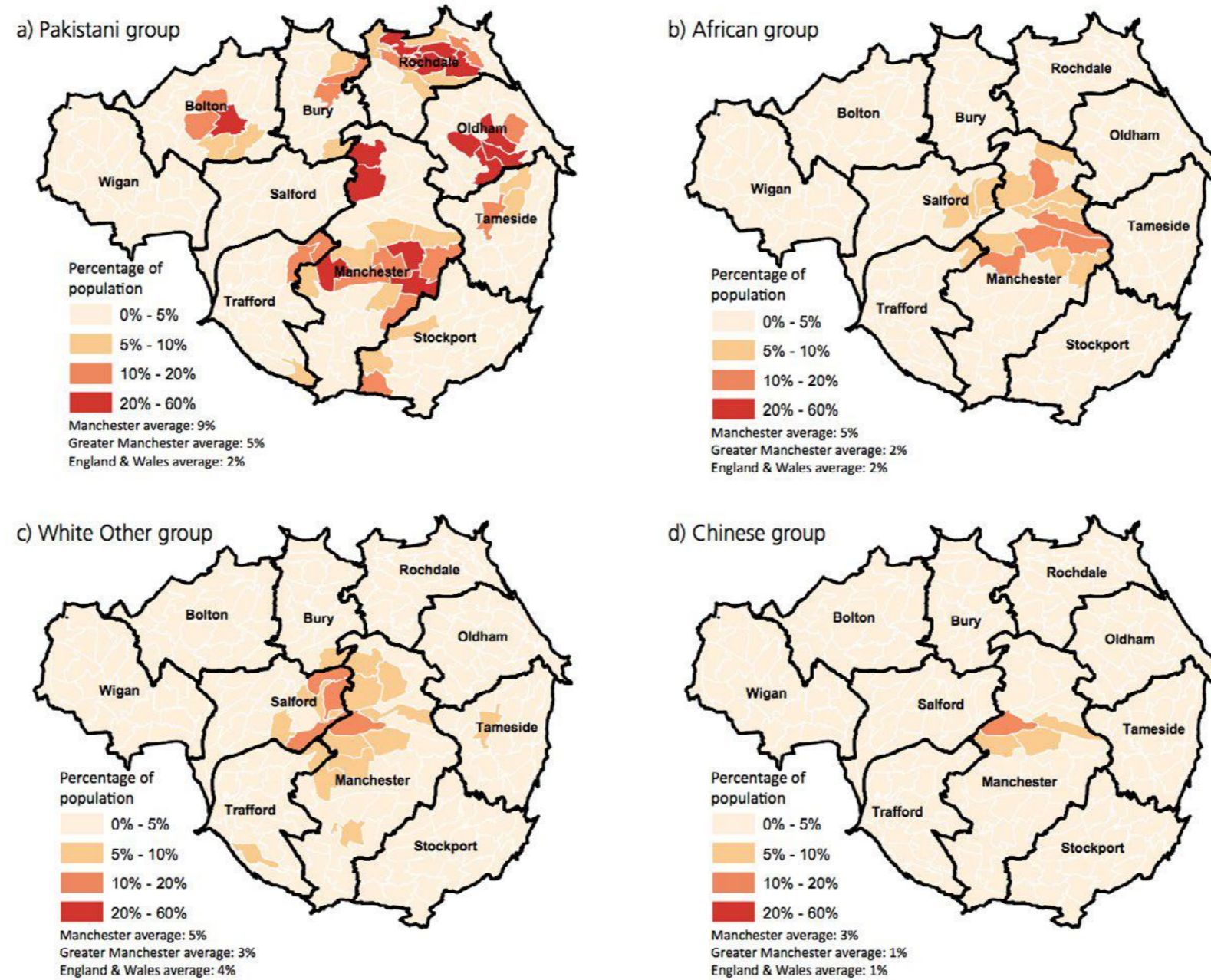
Figure 3. Geographical spreading of the largest ethnic minority groups across wards in Greater Manchester and Manchester, 2001-2011



[Source: ONS 2011 Census]

Manchester Demographic: Geographic Distribution

Figure 2. Geographical distribution of the Manchester's largest ethnic minority groups across Greater Manchester by ward, 2011

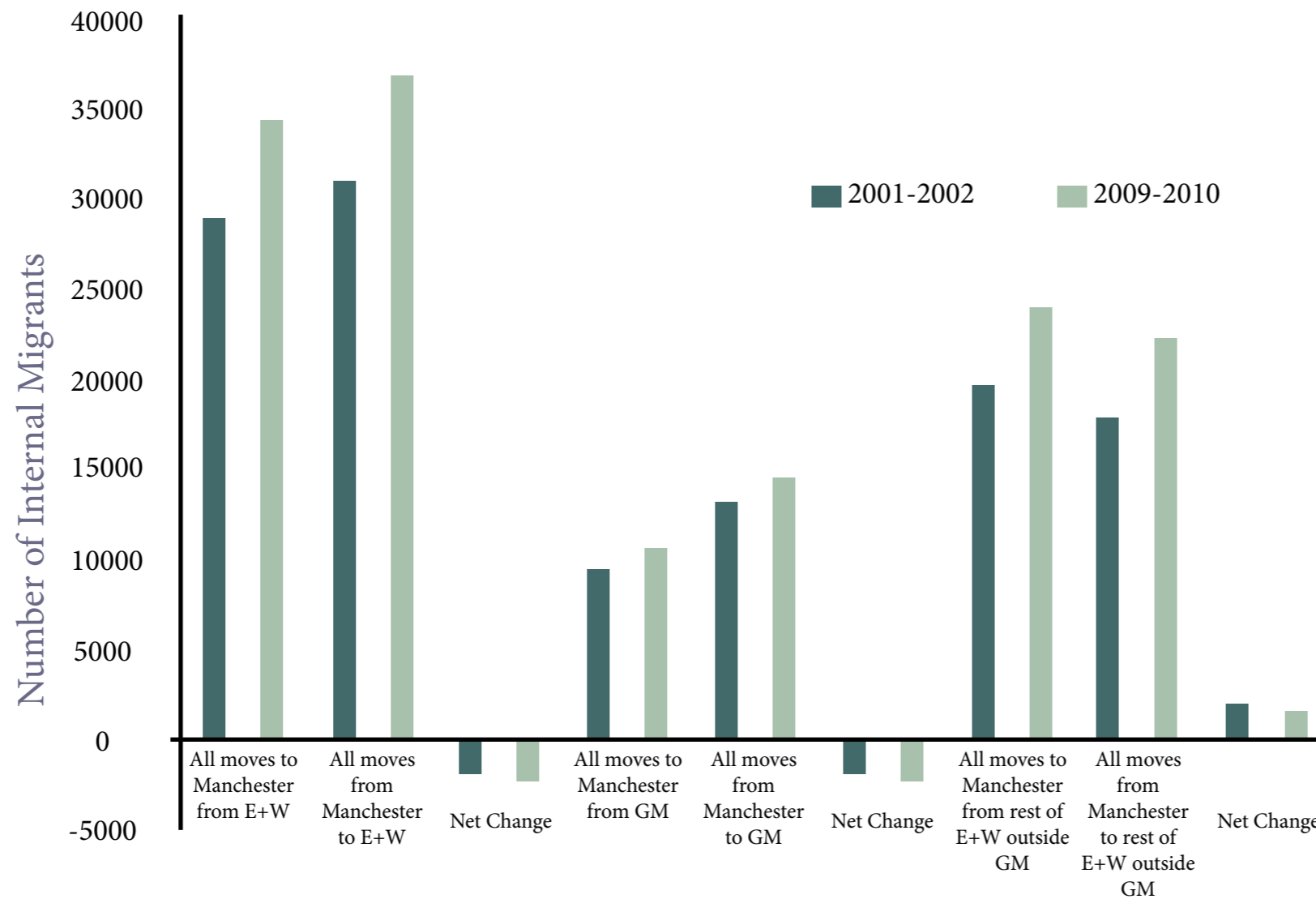
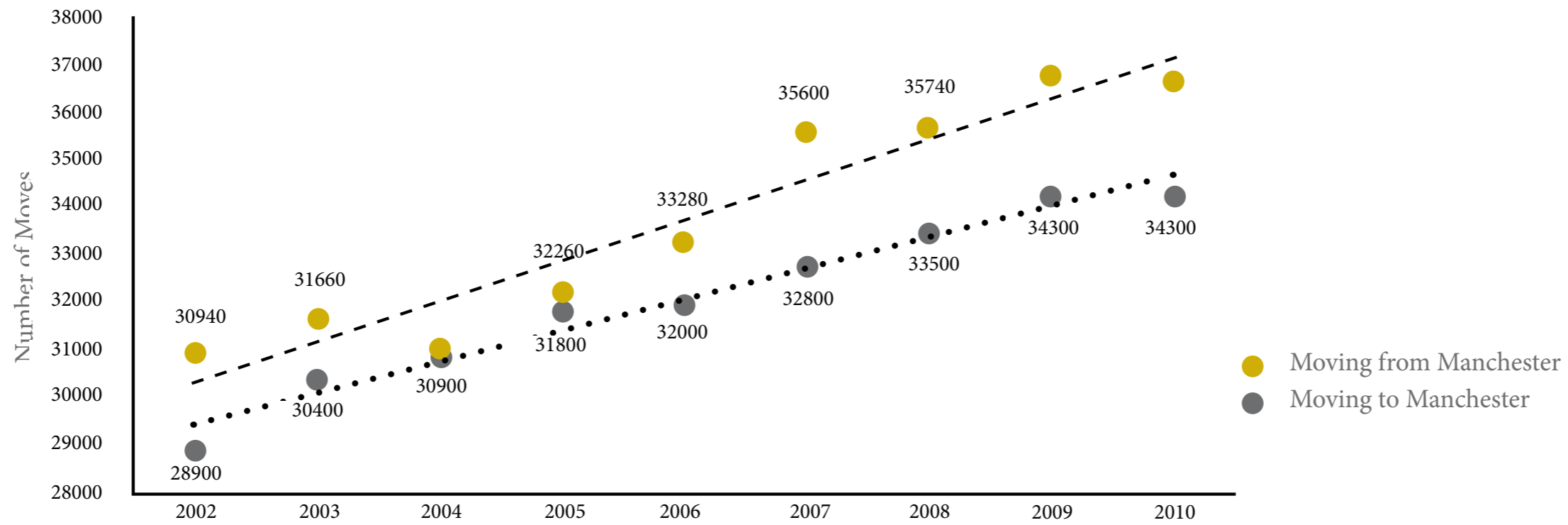


Most ethnic minority groups are evenly spread residentially across Manchester and the rest of Greater Manchester. Pakistani is the largest ethnic minority group in Manchester accounting for 9% of the population. The group is clustered in Longsight and Cheetham.

New measures in the 2011 Census show that Manchester is not becoming less British, despite its increased ethnic diversity. More people report a British or English national identity in Manchester than report White British ethnic identity.

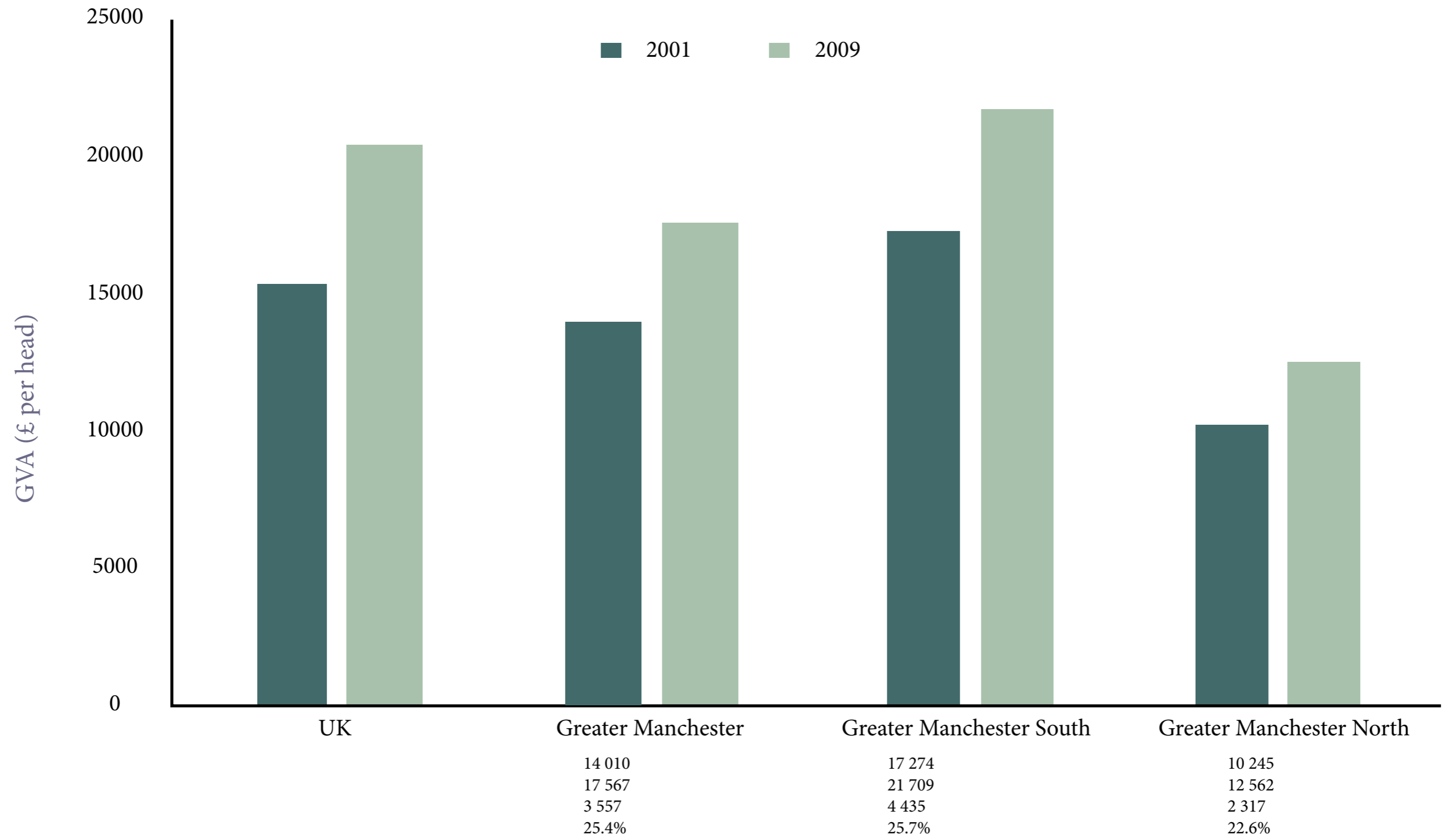
[Source: ONS 2011 Census]

Number of People Moving Manchester To and From rest of England and Wales, 2001-2010



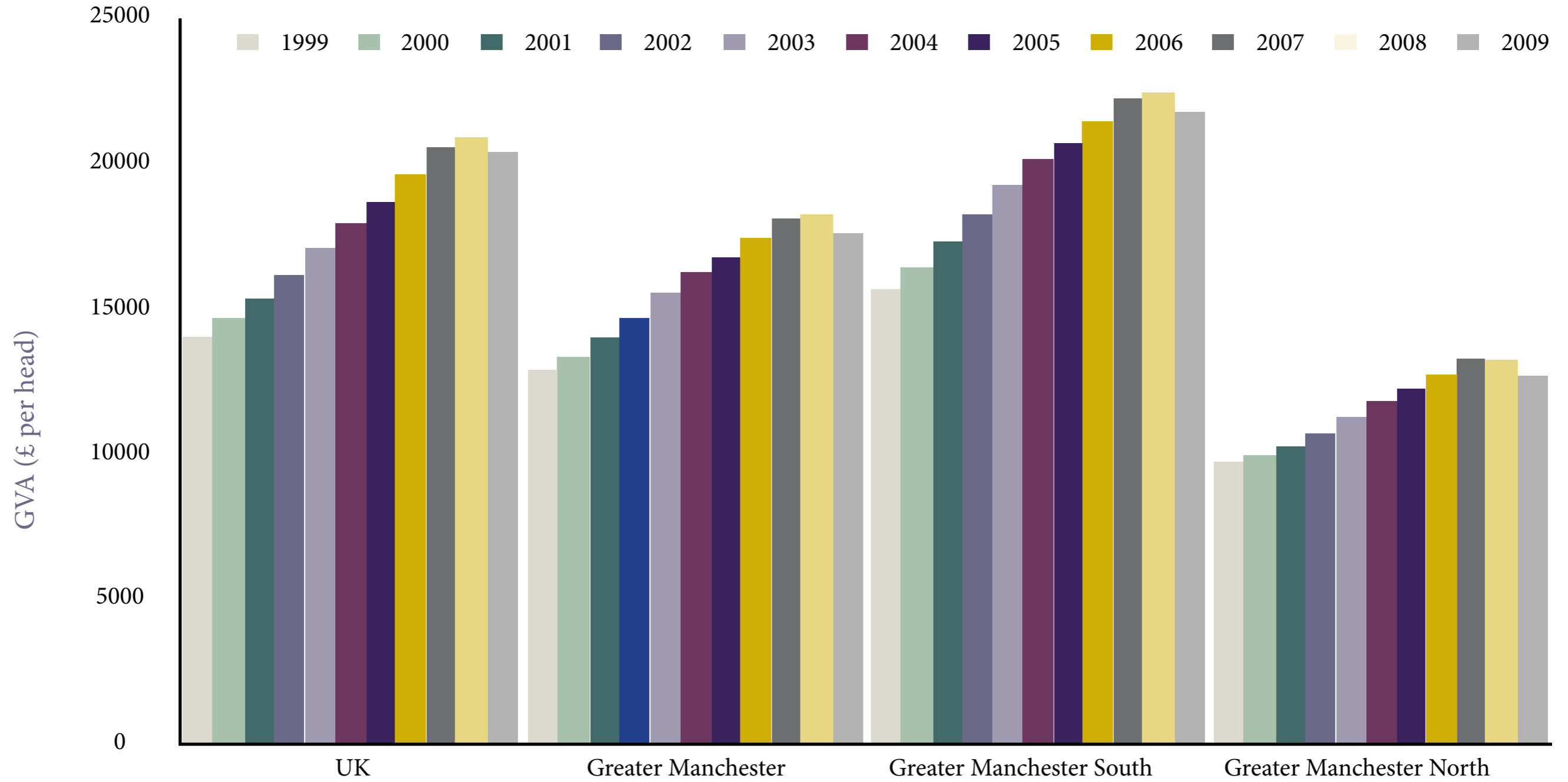
[Source: ONS 2011 Census + 2011 Mid-Year Estimates (MYE)]

Economy - Gross Value Added



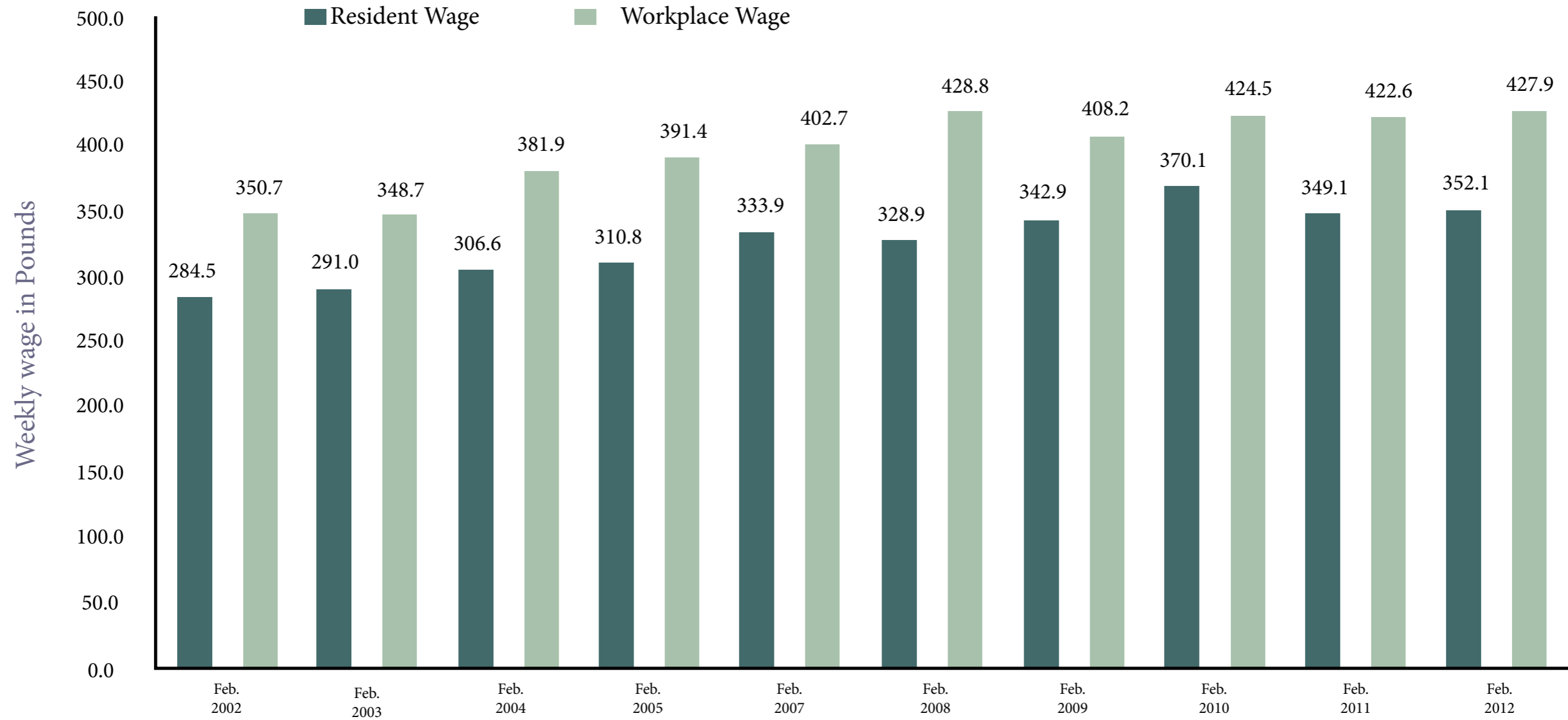
[Source: ONS 2011 Census]

Economy - Gross Value Added



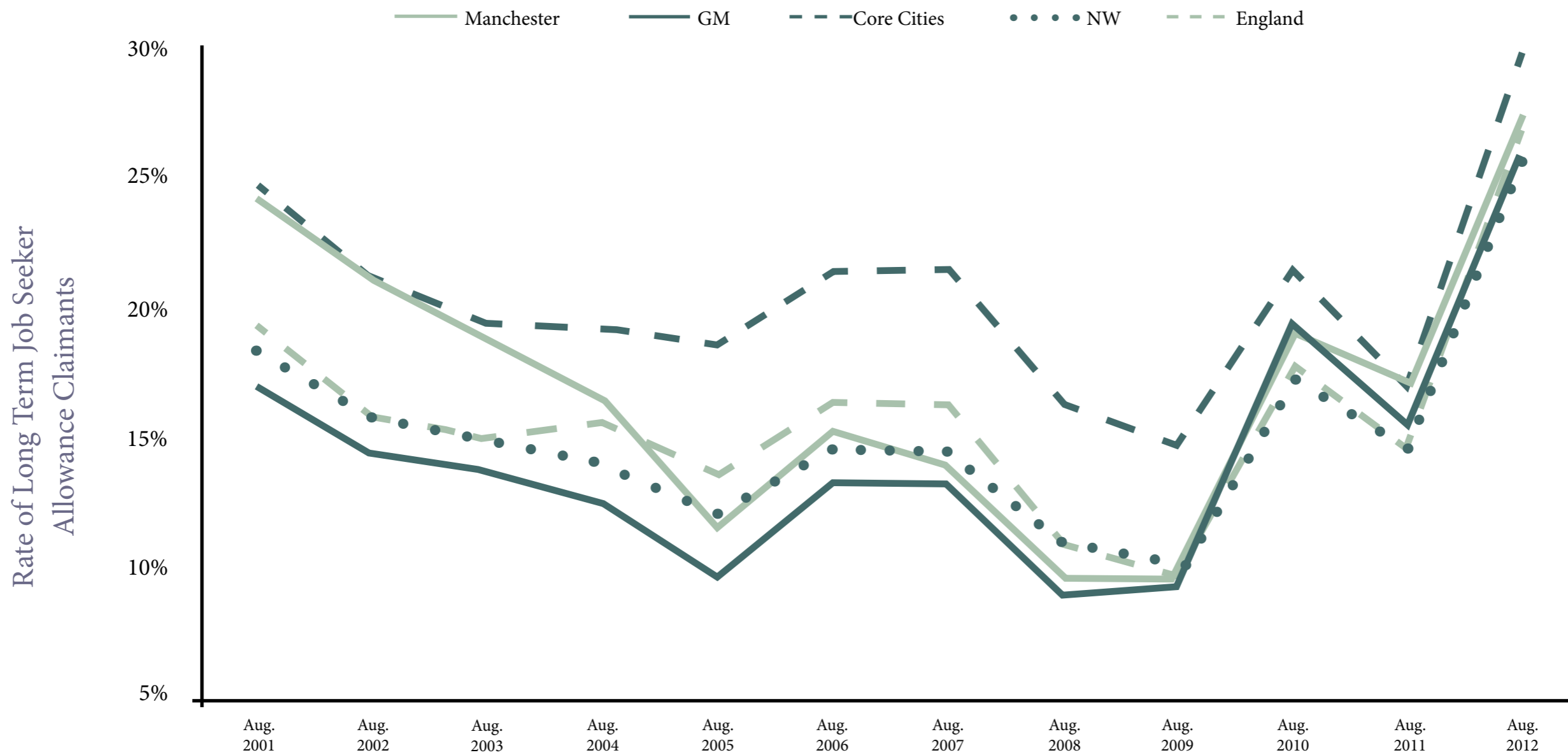
[Source: ONS 2011 MYE]

Average Wages



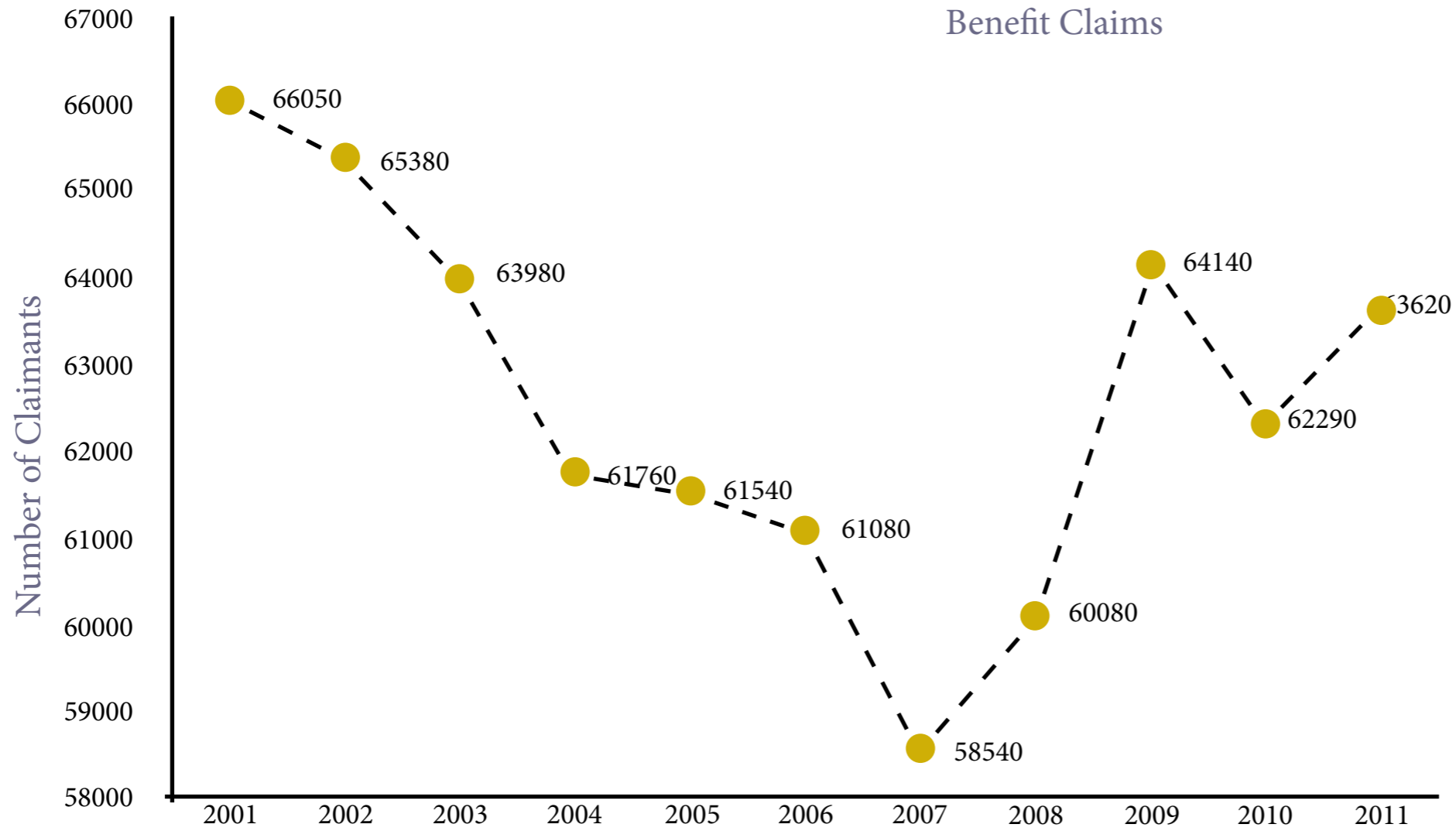
[Source: ASHE 2012]

Benefit Claims



[Source: ONS 2015 MYE]

Benefit Claims



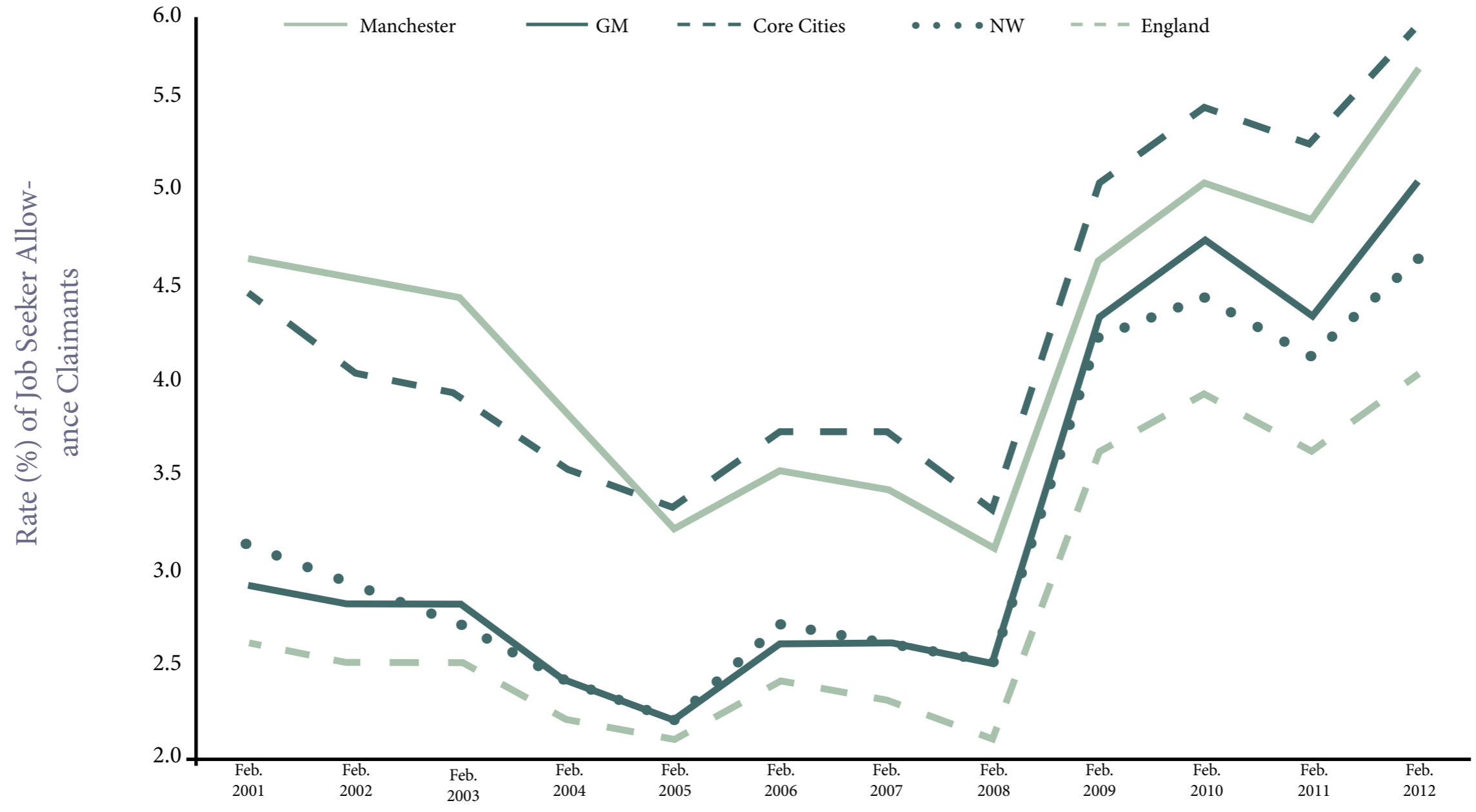
Data shows that Cheetham's population faces many challenges. In 2008, the ward had a higher proportion of children under the age of 16 in poverty than the Manchester average (50.7% compared to 41.8%), and a higher rate than the average for England as a whole.

[Source: ONS 2011 MYE]



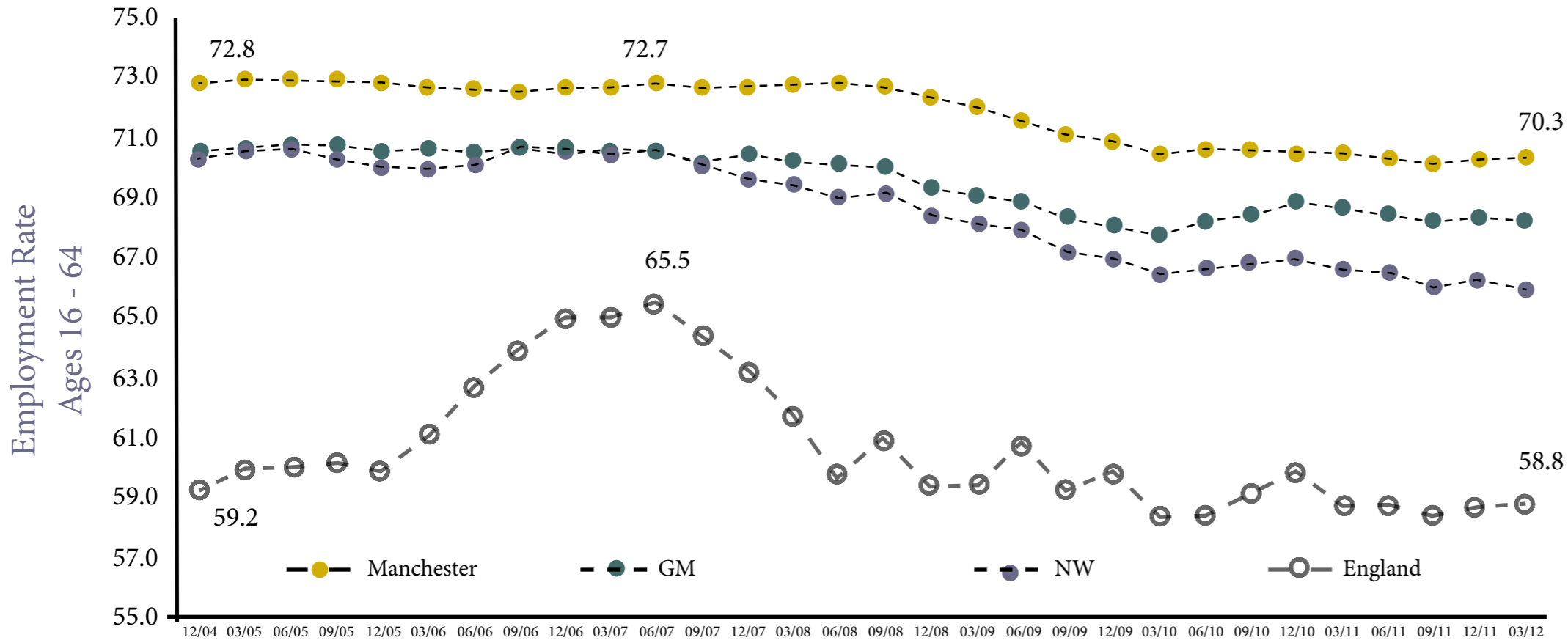
[Source: DWP 2012]

Benefit Claims

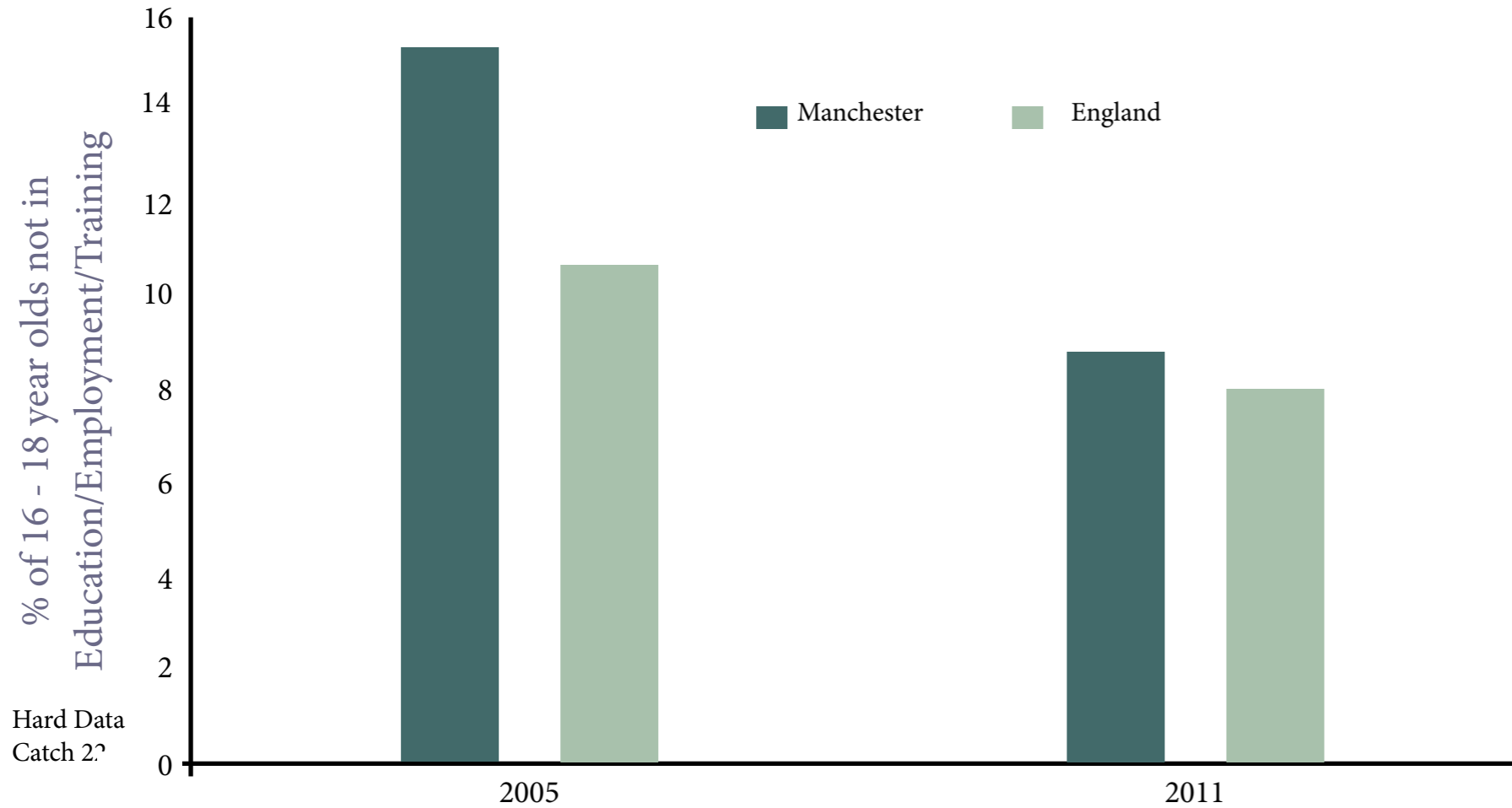


[Source: ONS 2015 MYE]

Employment and Training



[Source: APS 2012]



Cheetham has the highest concentration of businesses after the City Centre ward, which are mainly in the manufacturing and wholesale sectors (the majority of whom are based in the Strangeways District). However, it has fewer financial and professional services than the City average, 2010. In 2010 a much higher than city average of the ward's workers were employed in the manufacturing, construction, transport and wholesale sectors, with lower proportions in the education, financial services and hotel sectors. There are sectors where employment is expected to grow over the next twenty years.

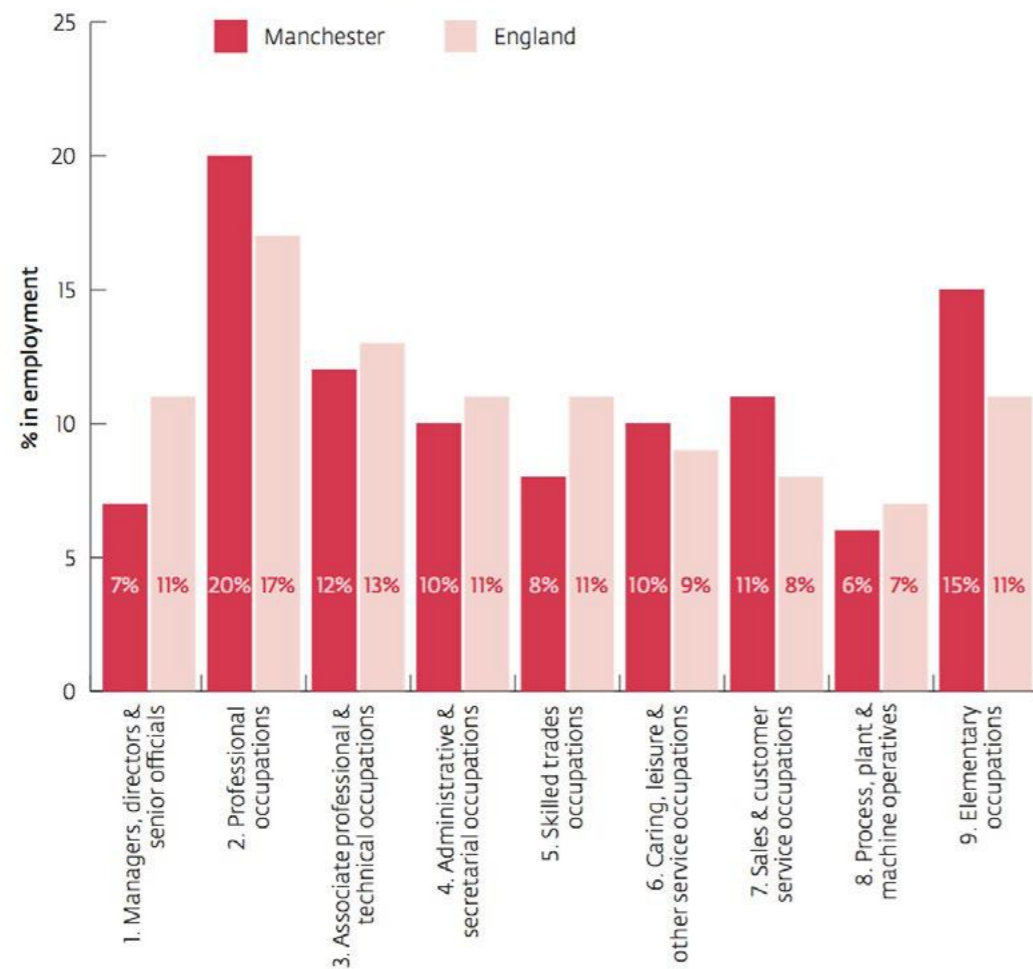
[Source: ONS 2012]

[Source: Connecxtions + Departments for Eeducation 2011]

Manchester Employment Classification

At the other end of the scale, the low skills associated with de-industrialised communities confine a sizeable proportion of the resident workforce to lower-end jobs. Fifteen per cent of working residents are employed in elementary occupations (down from 16.5% in 2001) and 11% in sales and customer services (up from 8% in 2001).

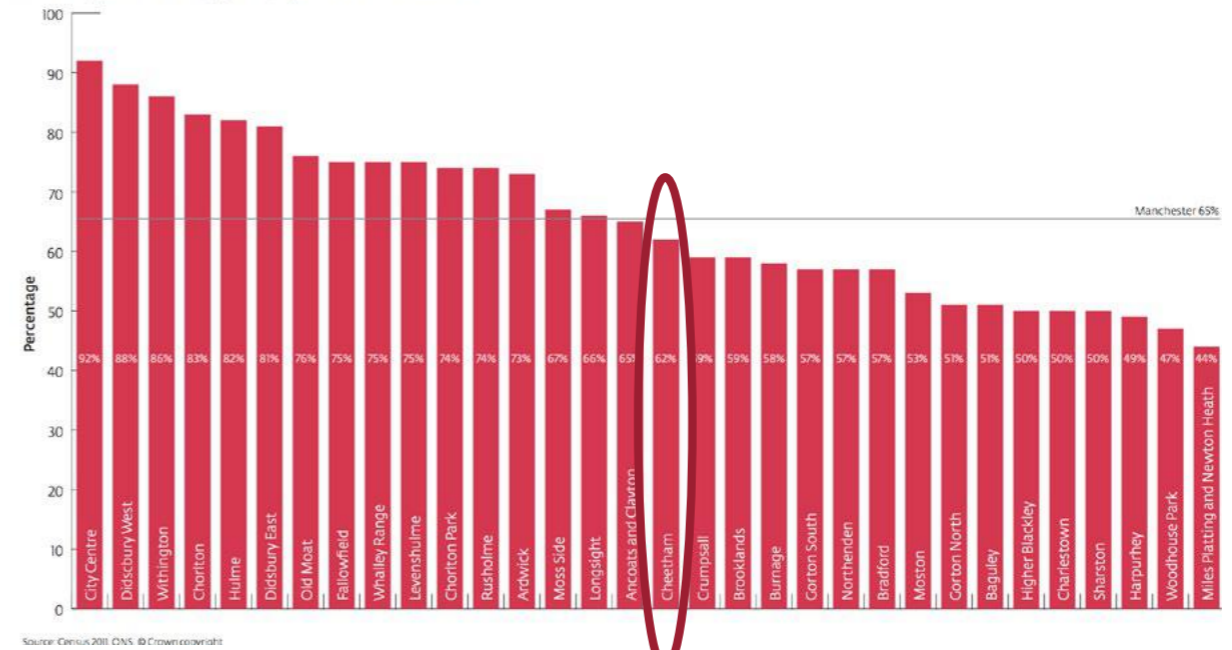
Employment by Standard Occupational Classification (SOC), Manchester and England



The skills profile of residents varies considerably across the wards, with the percentage of residents qualified to level 2 or above ranging from 44% in Miles Platting & Newton Heath to 92% in the City Centre (Figure 5.16), according to the 2011 Census.¹³

The Devolution Agreement gives us some control to improve outcomes for both learners and employers through adult skills funding; however, there have been national reductions to adult skills budgets

Figure 5.16 Percentage of residents (aged 16+) qualified to level 2 and above



[Source: ONS 2011 Census]

Manchester Employment Provision

Manchester is expected to generate 39,000 new jobs by 2023.

Growth sectors such as construction, customer service and tourism will increase demand for migrant labour to take up entry level and minimum wage roles.

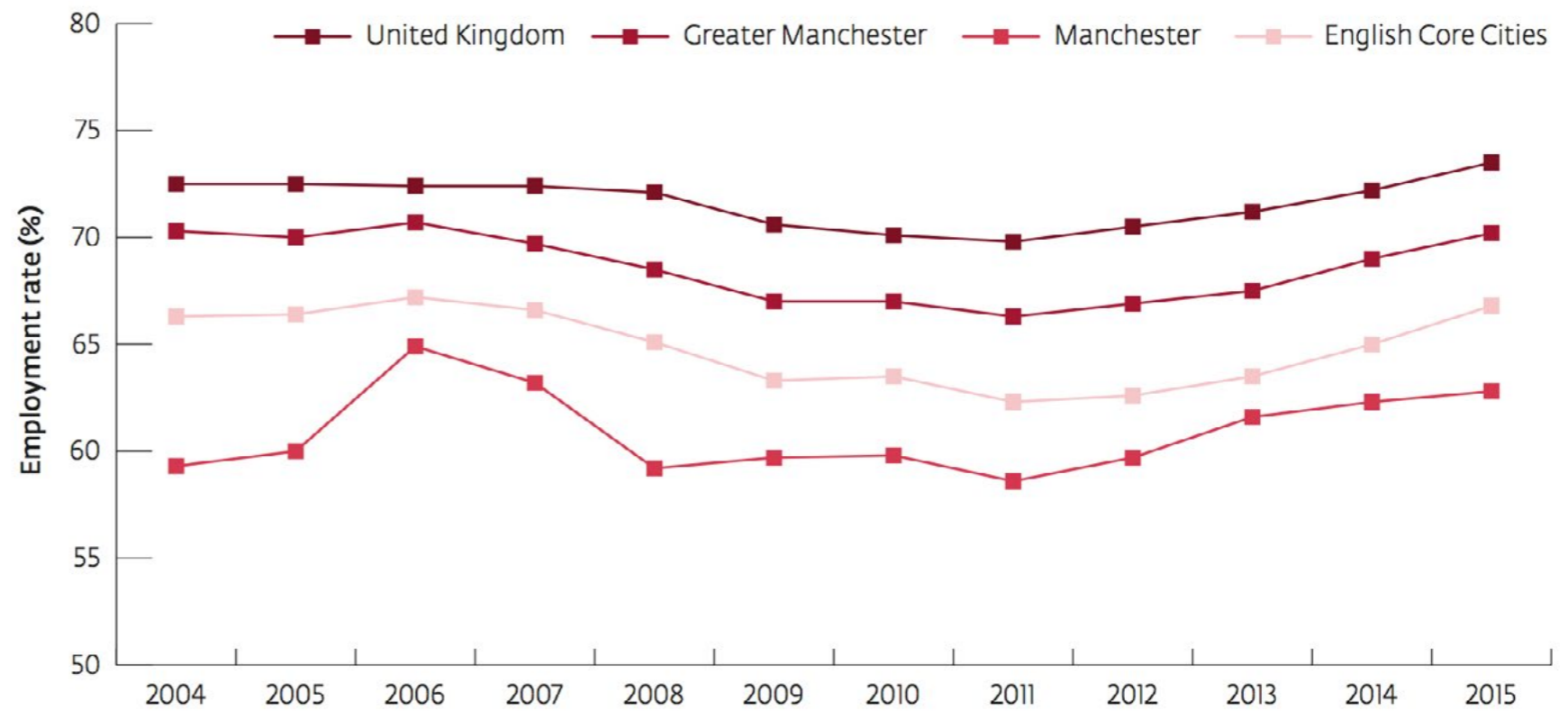
Manchester also continues to have an attractive wage to housing costs ratio compared to many other larger urban centres and a strong international profile led by sports and culture, particularly across the EU.

Questions remain:

Unraised immigrants coming to the city are often linked, initially, to short term and unregulated jobs. Short-term migrants (typically here between 3-12 months) often do not appear in the estimates or projections.

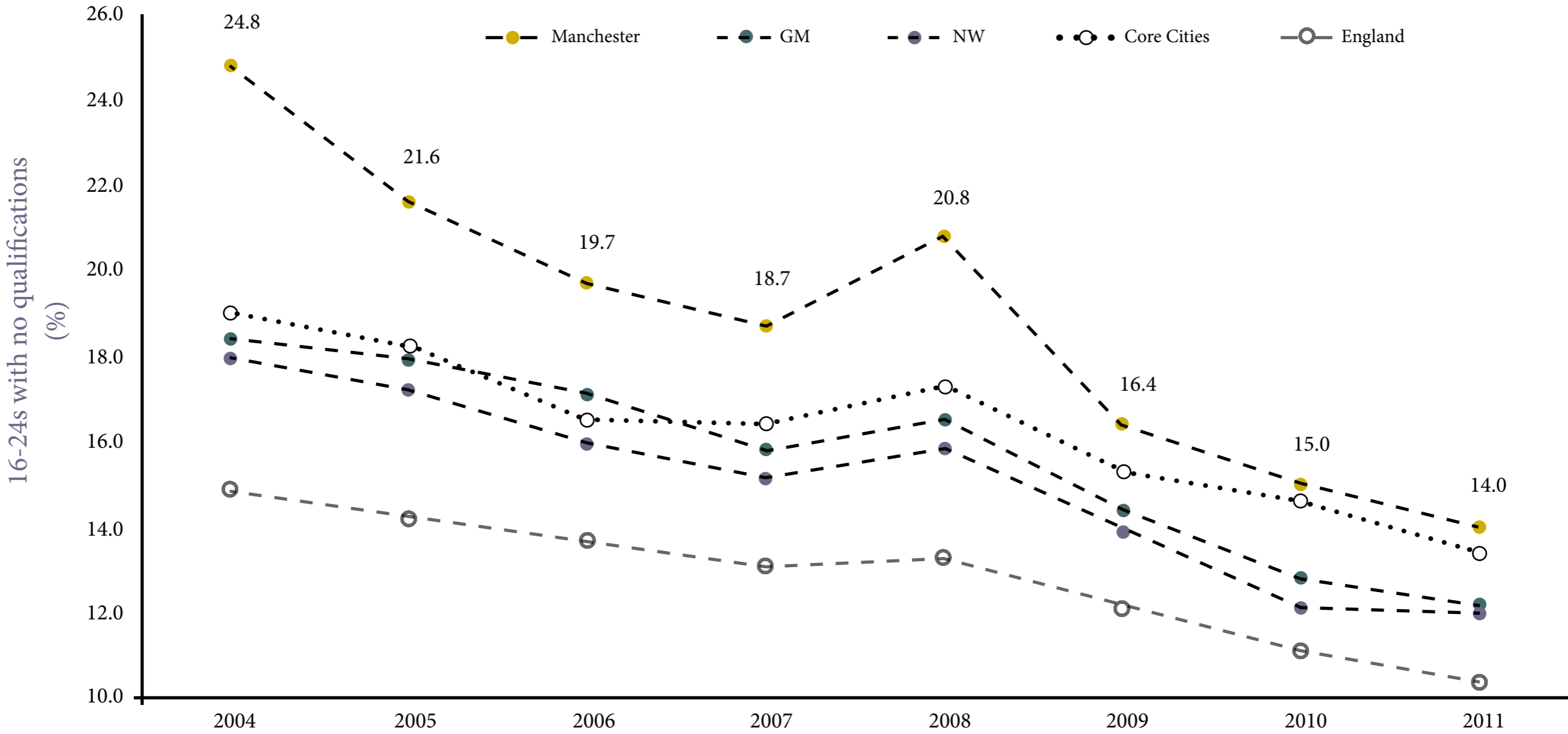
There are currently limited data regarding these individuals (ONS estimated 2,610 in 2010), but they are still dependent on services and need to be housed, albeit on a short term basis in the city. With a global trend of migration and urbanisation, this challenge is shared across Core Cities in the UK and other international cities, particularly in Europe.

Percentage of working-age population in employment



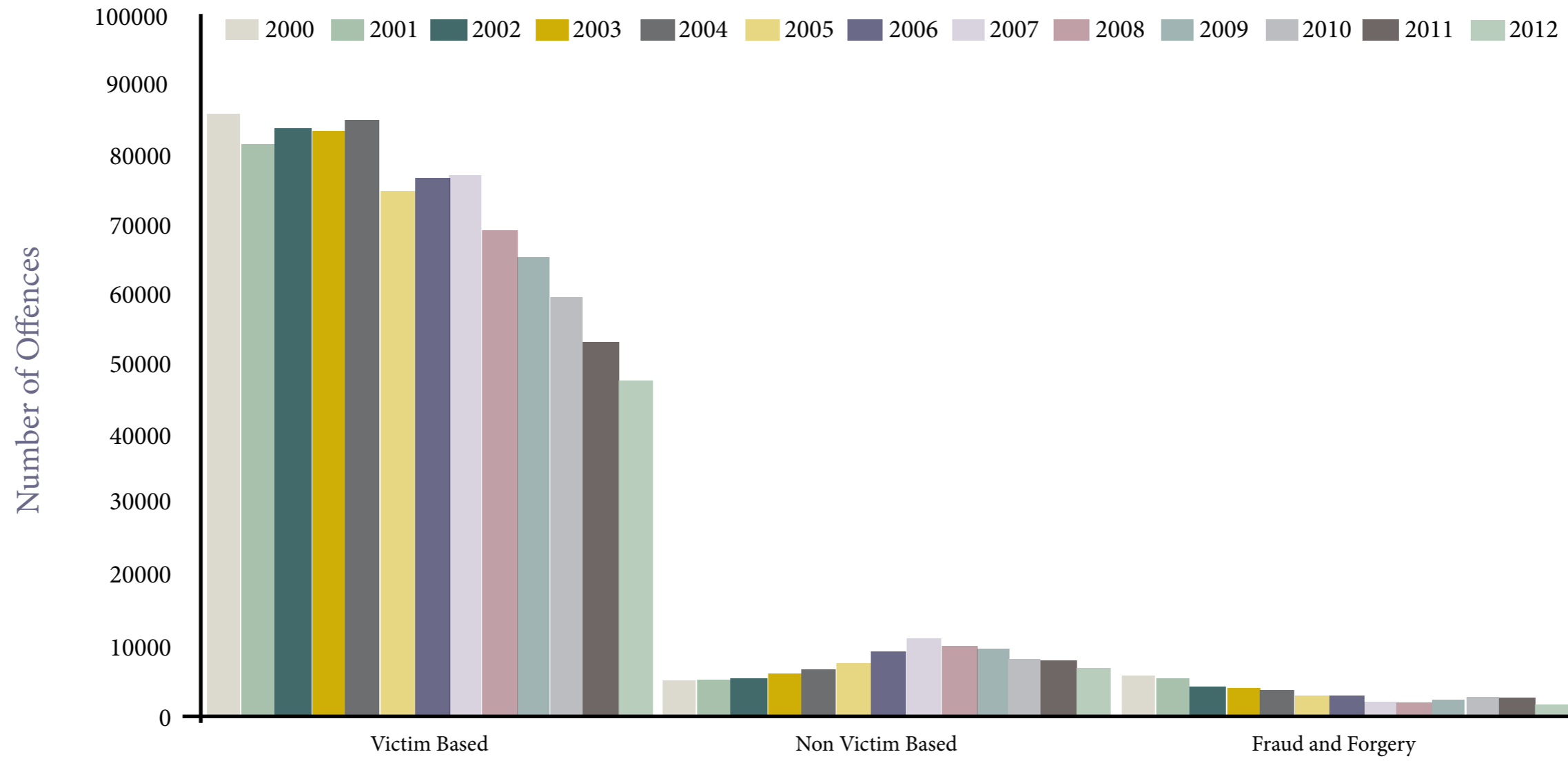
[Source: ONS 2015 MYE]

Qualifications



[Source: APS 2011]

Crime



[Source: GMP Business Intelligence 2012]

Typologies and Housing

Regular telephone surveys continue to gage the views and opinions of residents about their local area, public services and their lives. The 2011/12 survey showed that 77% of respondents were satisfied with their local area as a place to live, slightly higher than the 75% in 2010/11 and 2009/10.

[Source: Ibid 2012]

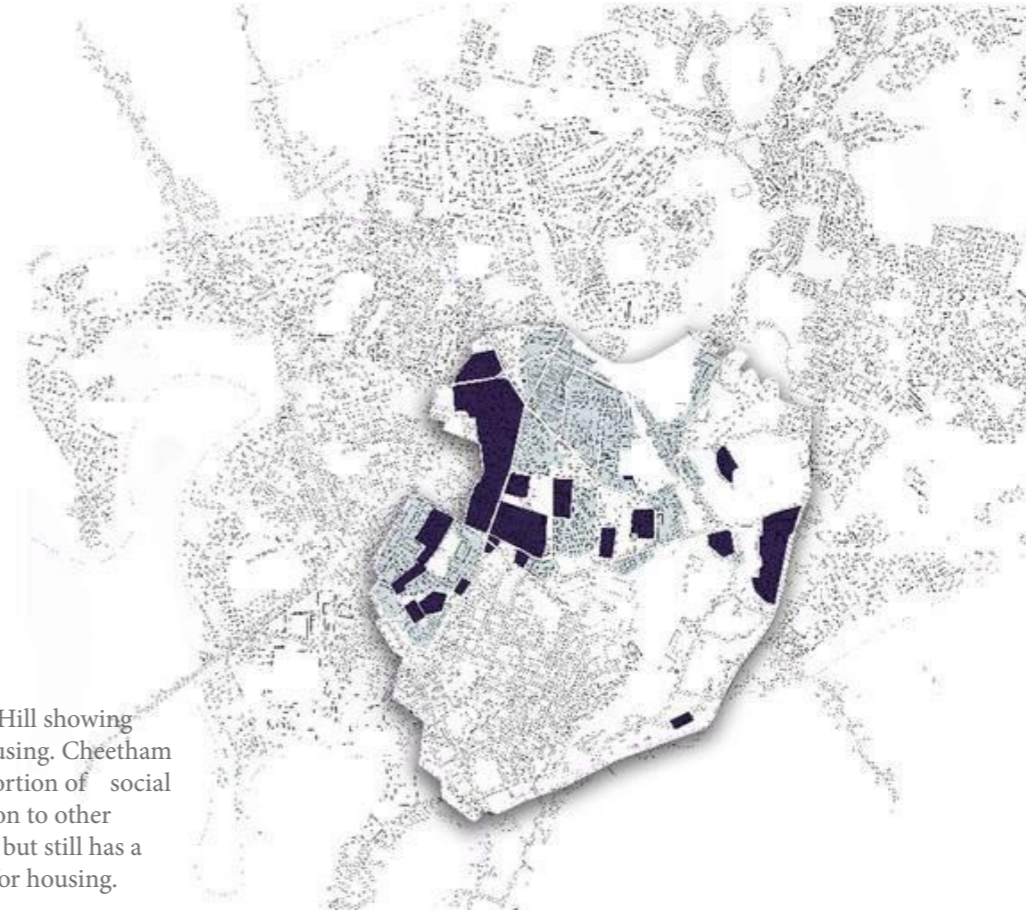
Diversity is reflected in the built landscape of the area – mosques, churches and temples are prominent local features, while many of the shops along Cheetham Hill Road are run by and cater for the local South Asian and Eastern European populations. The wider Cheetham area is also home to a range of cultural assets, including the Jewish Museum, the Irish World Heritage Centre and the Ukrainian Club.

[Source: MCC 2012]

In April 2011, private residential properties accounted for 67% of all property, with 33% in the social rented sector (excluding empty properties). This compares with 59% private and 41% social housing in April 2001.

[Source: PRI, Research and Intelligence 2011]

Private: 68.5%
Social: 31.5%



A map of Cheetham Hill showing the social/private housing. Cheetham has a very high proportion of social housing in comparison to other wards in Manchester but still has a 3-5 year waiting list for housing.

[cheethamcommunity.weebly.com 2016]



Al-Hussein Mosque



Ukrainian Cultural Centre








Salafi Centre









St. John's Church

Housing Provision

Manchester Dwelling Population Distribution

-  House Detached: 5%
-  Semi-Detached: 30.3%
-  Terraced: 30.2%
-  Flat: 28.6%
Flat :(Converted or Shared House) 4.8%
-  Caravan 0%
(Source: Office of National Statistics; Neighborhood Statistics; Manchester)

Facts/Figures on Dwellings

-  -There was a 13.36% increase in dwellings in Manchester between 2004-2014
-  -67.3% dwellings are owned privately, 8.2% dwellings are owned by Local Authorities, 24.3% dwellings owned by Registered Social Landlord
-  - 48% of Local Authorities' dwellings have 3+ bedrooms. 16.6% of Local Authority dwellings fall below the 'Decent Home Standard'
-  -15,031 (9%) dwellings didnt have central heating in 2004. This drammmatically dropped to 6410 (3%) dwellings in 2014.
-  - In 2015 there was on average 3.8% vacant dwellings in Manchester compared to 2004 when there was 9.8%.
-  -1.8% of families in Manchester live with another family. The waiting list for council houses in Manchester exceeds 12000.

[Source:2004 & 2014 ONS]
[Source: ONS; Neighborhood Statistics; Manchester]

Tenure;

the conditions under which land or buildings are held or occupied

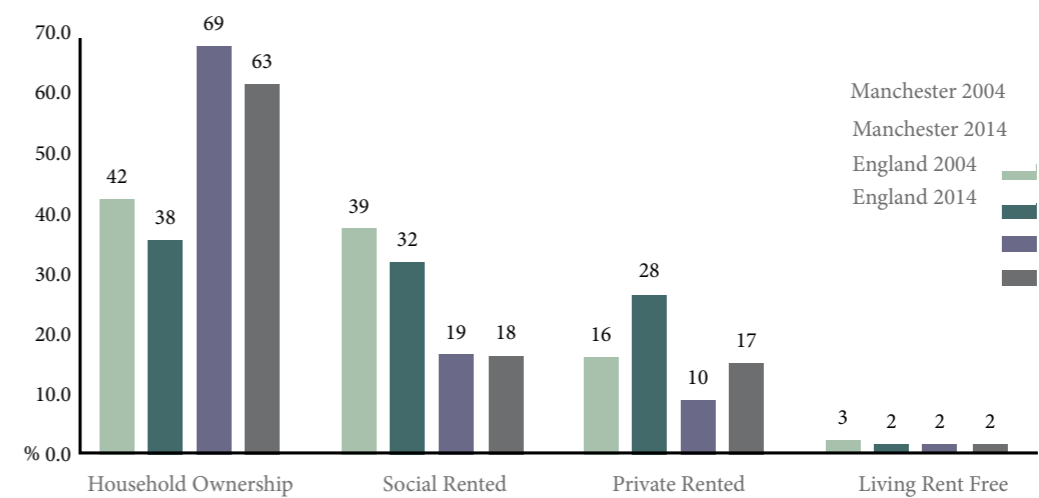
Manchester
Households owned 70,008 - 42%
Social rented 66,019 - 39%
Private rented 26,885 - 16%
Living rent free 4,539 - 3%
(Source:2004 Census)

Manchester
Households owned 77,395 - 38%
Social rented 64,682 - 32%
Private rented 58,170 - 28%
Living rent free 3241 - 2%
(Source:2014 Census)

England
Households owned 69%
Social rented 19%
Private rented 10%
Living rent free 2%
(Source:2004 Census)

England
Households owned 63%
Social rented 18%
Private rented 17%
Living rent free 2%
(Source:2014 Census)

Comparison of Dwelling Tenure from 2004-2014



[Statistic Analysis]

- 7% less households in Manchester live in Socially rented accommodation in 2014 when compared to 2004.: housing stock has been transferred from the Local Authorities to Housing Associations/ bought by Private Landlords.
- The Private rental market saw an increase of 12% from 2004-2014.
- A significantly larger proportion of households in Manchester rely on social housing when compared to the England average.
- There is a significant difference (25%) between the percentage of people who live in their own owned home in England compared to Manchester, the gap of which has grown over the last 10 years.

[Source: ONS 2014]

Housing Provision



The average amount of people per bedroom in Manchester is 1.5 people. In 2004 for every 1000 people 4 lived in an 8+ person house. In 2014 for every 1000 people 6 lived in an 8+ person house.



In 2014 16% of houses have 1 bedroom, which is for 1 or 2 people to live in, but 75% of houses have 1 or 2 people living in them. 8.8% of population reside with 5 or more people per house but only 3.3% of houses have 5+ bedrooms.



There are around 1,250 homes rented out by not-for-profit landlords like housing associations and housing trusts in Cheetham Hill.

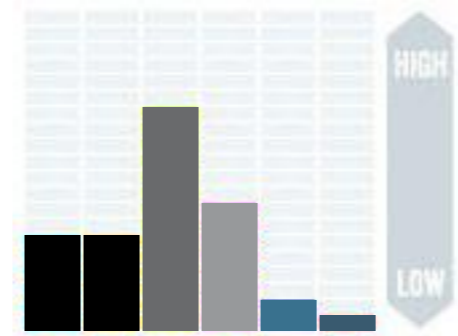


For Singles/Couples aged 16-40, there is nowhere in North Manchester where availability for a council house is greater than 'Average'
 For Families requiring 2 beds, there is nowhere in North Manchester where availability for a council house is greater than 'Average'
 For Families requiring 3 beds, there is nowhere in North Manchester where availability for a council house is greater than 'Low'
 For Families requiring 4+ beds, there is nowhere in North Manchester where availability for a council house is greater than 'Average'
 (Source: Manchester Move)

[Statistic Analysis]

- The data suggests a large proportion of people are living in houses bigger than they need yet 5.3% are living in house too small.
- There has been a significant drop in the amount of people in absolute poverty from 1997-2013 however the amount of people in relative poverty has fluctuated up and down over the same period.
- There is a continuous problem with housing costs pushing people over the threshold of both relative and absolute poverty.
- The amount of people in poverty residing in social rented accommodation has dropped over the last 12 years. However this is probably due to the reduced amount of social housing available. The increase in people in poverty in private rented accommodation is likely due to the increase in people relying on private rented accommodation due to lack of social housing.

Cheetham Hill Social Housing Availability



- Singles/Couples 16 - 40
Availability: Below average
- Singles/Couples 40 - 60
Availability: Below average
- Singles/Couples 60+
Availability: Very good
- Family/Adult groups 2 beds
Availability: Average
- Family/Adult groups 3 beds
Availability: Very low
- Family/Adult groups 4+ beds
Availability: Extremely low

Cheetham Hill Social Housing

-577 (39 became available to rent in 2014)

Bungalows;

- Four one-bed bungalows
- Three three-bed bungalows

Flats;

- 188 low rise one-bed flats (22 became available)
- 104 low rise two-bed flats (eight became available)

Houses;

- 97 two-bed houses (three became available)
- 129 three-bed houses (four became available)
- 36 houses with four or more bedrooms (one became available)

Maisonettes;

- 16 two-bed maisonettes (one became available)

Housing Policy



Right to Rent

From 1 February 2016

You have this right if you are a:

- British citizen
- Citizen of a country in the EU or EEA
- Citizen of another country with no time limits on your permission to live in the UK (such as indefinite leave to remain)
- You can have a time-limited right to rent if there's a time limit on your permission to stay. This is likely if you have a visa for work, study or as a spouse. It also applies if you have humanitarian protection, exceptional or discretionary leave to remain.



Help for Homelessness

Help is only offered if you have a 'connection to Manchester'.

You have this connection if you have:

- Lived in the area covered by Manchester City Council (see map) for at least six of the last 12 months
- Lived in Manchester for at least three of the last five years
- You have a parent, brother or sister who has lived in Manchester for at least five years
- You work in Manchester.

If you do not have a connection to Manchester, we may be able to refer your application to another authority outside Manchester. If you have a property abroad but you can't live in it. The council may decide you are not homeless if you have a home somewhere else, anywhere in the world. You may be expected to return to a home in another country. However, there are many situations where this would not be reasonable.



Council Houses in Manchester

- All council housing in Manchester is run by independent companies.
- The Local Authority owns the properties, and people living in them are council tenants by law. But all housing services - repairs, rent, rehousing are delivered by the independent companies.
- Northwards Housing manages the housing services for North Manchester, including Cheetham Hill.
- The tenant has the legal right to buy the house they are living in if it is a property owned by Manchester City Council.

Rehousing Eligibility

- Anybody over 16 can apply for a council house

Council Houses are not offered to;

- Certain people from abroad. This includes some people who are British citizens but are subject to immigration control.
- People who have been guilty of unacceptable behaviour including:
 - Tenants owing more than £1000 rent
 - Breaking a tenancy agreement with a not-for-profit landlord, or causing serious damage to a property
 - Being guilty of serious antisocial behaviour or domestic abuse
 - Getting a tenancy illegally - by giving false information or paying money for example

Chance of getting a Council House

Your chance of getting a home depends on:



Your circumstances in your current home. The more urgently you need to move, the higher your priority. The highest priority in the Manchester City Council rules is Band 1. The lowest is Band 6b.



The type and size of home you are eligible for. Some types and sizes are more readily available than others.



How long you have had that rehousing priority, called your 'award date'. The earlier this date, the better your chances.



In flats, the age of the youngest person who is moving. Some blocks are reserved for people over a certain age. If you are over that age you should find something more quickly.



The area you want. In some areas, homes come up frequently. In others there's nothing available for a long time.



How many other people bid for a home. The fewer bidders, the better your chances.

- Having lost a home that came with a job because of inappropriate behaviour
- Having an unspent criminal conviction that would make the person a significant risk to local people

Required Documents for Renting a Property

- Bank details
- Recent bank statements
- A letter from your employer confirming that you work for them
- Pay slips
- Employment contract
- Accounts, if you work for yourself
- Proof of benefit awards, if any

Landlords can also ask for references from an employer or previous landlord. If you are renting for the first time, your landlord might accept a reference from a parent or guardian.

Potential Problems with Private Renting

- Not all landlords accept tenants who plan on claiming house benefit to help with their rental costs.
- Tenancies are usually either 6 or 12 month contracts
- Letting agents may ask to run a credit check on the tenant
- Landlords and letting agents usually ask for at least one month's rent in advance and a deposit of one month's rent. Agency fees are also often applied if the property is found through a letting agent.

(Source: Shelter.org.uk, 2016)

“It can’t be just surviving: you have to fully live.”

(Source: Shelter 2016)

Region	Number of dwellings	Number of dwellings empty	Percentage of dwellings empty
North East	1,196,943	40,708	3.40%
Yorkshire and Humber	2,357,866	77,117	3.27%
North West	3,193,675	109,485	3.43%
East Midlands	2,014,514	55,737	2.77%
West Midlands	2,413,862	63,991	2.65%
East of England	2,590,719	58,197	2.25%
London	3,470,247	56,715	1.63%
South East	3,768,624	84,666	2.25%
South West	2,457,713	63,507	2.58%
England	23,464,163	610,123	2.60%

[Source: Greater London Consultants LTD - Statistics 2014]



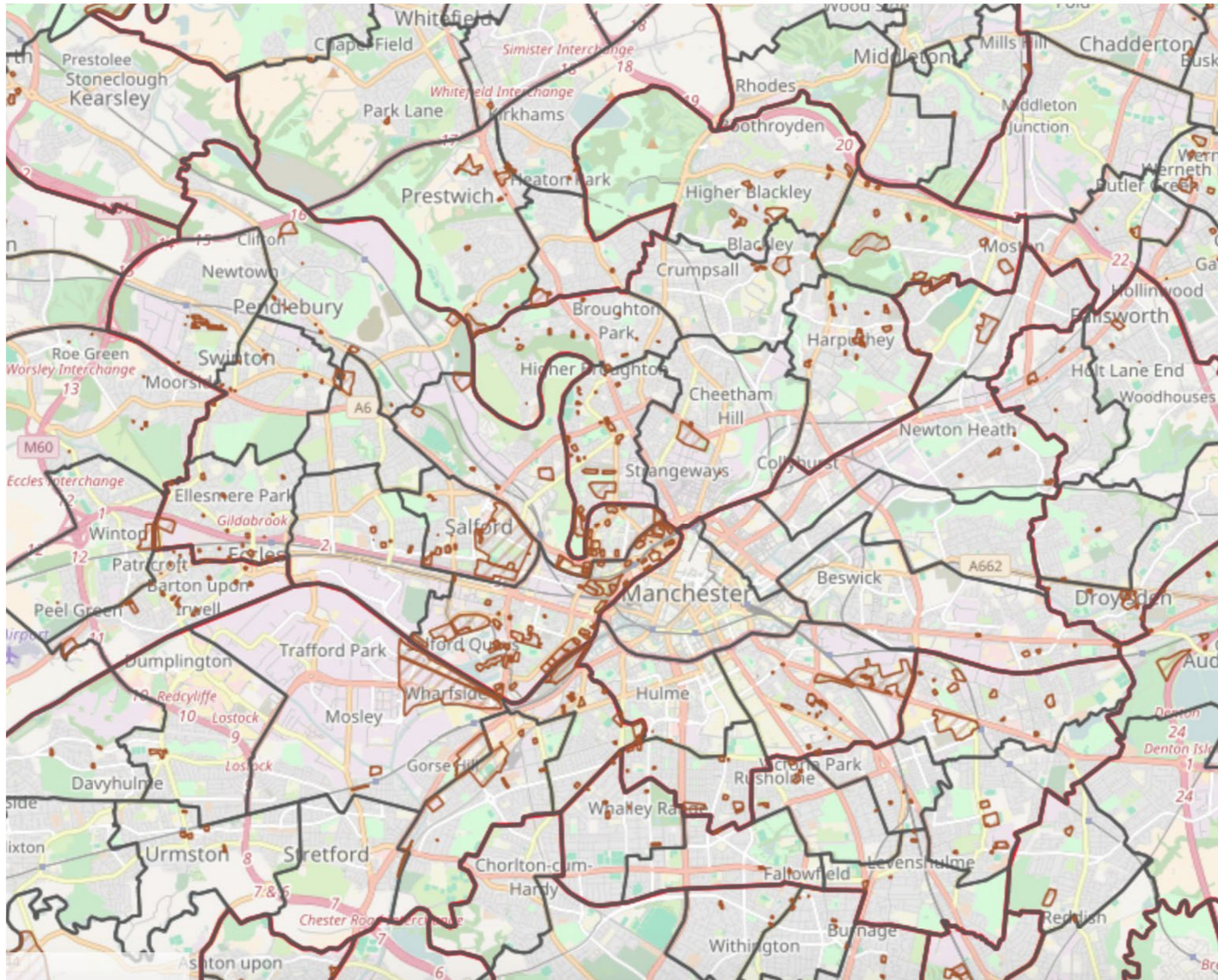
[Source: Shelter 2016]

[Conclusions]

The population of Manchester has risen dramatically between the 2001 and 2011 census yet the housing provision has not risen at the same rate. This has led to an increased problem of overcrowding in houses which caused many homes to drop below the Living Home Standard.

The amount of vacant buildings has also fallen significantly due to the increased demand however this is not a sustainable source for the continuously growing population. The lack of supply is causing many people to live in houses which are in poor condition as they have very little choice. It is also resulting in house prices continuously rising, pushing more and more people to rely on benefits or to fall below the poverty line.

Manchester Available Land (Brownfield)



[Source: MCC 2016]

Housing Market Analysis



According to Valuation Data Agency, there has been a 22.4% increase in rental price in 12 months across greater Manchester.

The average cost of home costing approximately £8,448 annually. This works out at 42% of the average weekly wage.

One third of Greater Manchester's population privately rent, in the city center this increases to 80%.

Between 2001 and 2011

Home owner occupation decreased by 37%

The privately rented market has increased by 28.4%

People in Council Housing has increased by 13.5 %
and social housing by 18.1%

According to Inside housing, 30% of Manchester homes is social housing. Home ownership makes up 40%

INCREASE HOUSEBUILDING ON NEW AND EXISTING SITES

IMPROVE QUALITY AND SUSTAINABILITY

INCREASE OPPORTUNITIES

IMPROVE FAMILY HOUSING

PROFESSIONAL PRIVATE RENTAL SECTOR

IMPROVE RETIREMENT LIVING

Cheetham Hill is now part of the Cheetham and Broughton Partnership, a scheme which aims to improve the environment, economy and housing, and the area has undergone extensive remodeling since 2002, with new pavements, road surfacing, parking, lighting and CCTV, and a fast-track bus lane.

With the population continually increasing (increase of 80, 202 people between 2001 and 2011) the housing market continues to struggle with under-supply. Momentum of home building diminished significantly in the recession with lows of residential completions in 2011/2012 of 960 homes compared to 5,412 in 2007/8.

This leads to an interesting result where due to the increase in population some areas such as Longsight where only 181 properties have been built despite a rise of population 3,600 people between 2001 and 2011 the number of vacant properties has halved since 2007, with a significant need to redevelop existing properties.

In 2015 £300M was awarded by Homes and Communities Agency to improve the housing situation in Manchester. Since then a significant portion has already been utilised developing 1,100 homes. One of these developments, Charminster Drive of 23 units, lies in Cheetham Hill. The ambition is to build 25,000 homes by 2025 by building large high density developments in the North and East of Manchester.

Along with this funding, according to Manchester City Council Chief Executive, Sir Howard Bernstein (who grew up in Cheetham Hill) The council have made "priorities for support rebuilding and re-provision".

The council seek to remodel social support by combining housing and social care and remodeling supportive housing.

[Source: Valuation Data Agency 2016]

Extant Actors



The average asking rent was £595 a month across all types of property in September 2014. For somebody renting a room in shared accommodation, the average asking price was £325 a month. (Source The Valuation Office Agency)



Average house prices in Manchester are just over £150,000. In Manchester, you now need to earn £34,420 a year to afford a typical mortgage.



Many ex pats struggle to find a bank happy to give them a mortgage for a property in the UK



Housing Benefit

You may be able to get Housing Benefit if you are on other benefits, work part-time or work full-time on a low income. You cannot get Housing Benefit to help with the costs of a mortgage or home loan.

If you or your partner have more than £16,000 in capital you will not get any Housing Benefit, unless you are getting guarantee credit part of Pension Credit.

If you or your partner have capital of over £6,000 then you will be assumed to have some income from that capital.

If you or your partner have reached the qualifying age for Pension Credit and you have capital of over £10,000, you will be assumed to have some income from capital.

If you are getting Income Support, income-based Jobseeker's Allowance, or income-related Employment and Support Allowance you will automatically be within the income and capital limits for Housing Benefit and you will qualify for the maximum amount.

Northwards Housing

Not-for-profit organisation that manages over 13,000 homes across North Manchester.

Demographic of Residents;

- 60% Female tenants
- 20% Over 65s tenants
- 26% Black or minority group tenants
- 30% Disabled tenants

General Statistics;

-84% of customers are satisfied with the overall service

-Tenants are given basic advice for carrying out simple repairs themselves. If it is not a problem they can resolve themselves the 'handyman' service is given a not-for-profit price for the work.

Average re-let time is 36.5 days

[Source: Northwardshousing.co.uk]

Housing Benefit Allowance

Property	Weekly amount
1 bedroom (or shared accommodation)	Up to £260.64
2 bedrooms	Up to £302.33
3 bedrooms	Up to £354.46
4 bedrooms	Up to £417.02

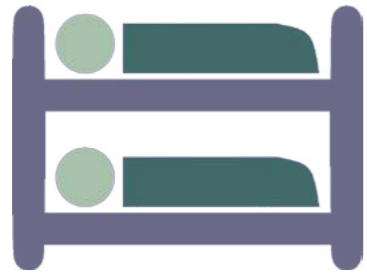
[Source: Northwardshousing.co.uk 2016]

Job Seekers Allowance

Entitlement	Amount	Procedure	Timescales	Problems	Solution
<ul style="list-style-type: none">- 18+ years old- Under State Pension age- Not in full-time education- In England, Scotland or Wales- Available for work- Actively seeking work- Work less than 16 h/week	<p>18 - 24 up to £57.90</p> <p>25+ up to £73.10</p> <p>Couples (both 18+) up to £114.85</p>	<p>Jobcentre plus will arrange an interview after an application has been received, For this the following will need to be provided:</p> <ul style="list-style-type: none">- P45- 1 'primary' identity document- 2 'secondary' identity documents - one to prove your address and the other to prove your date of birth <p>Following this, if successful payments are made every 2 weeks into a bank account</p>	<p>It takes 10 working days to process a claim. Once the claim has been accepted it takes 3 working days for money to be deposited to the bank account.</p> <p>“Time frames vary considerably between areas - six weeks is certainly not unheard of, I have seen cases taking up to three months.” <small>(dmg24 2011)</small></p> <p>“Yes, one time I waited 6 weeks and another about 2 months before receiving anything.” <small>(SHIPSHAPE 2011)</small></p>	<ul style="list-style-type: none">- May not fit entitlement criteria- Amount may not cover the rent charged by landlords- Individual may not have an address to be able to provide to Jobcentre Plus- Individual may not have a bank account- Housing status may be more urgent than the standard time taken to process a claim- It could take a significantly long period of time before any payment is received if there is some problem with the processing of the application	<p>Eight individuals that fall off the spectrum in this sense will have the opportunity to work in the workshop and live in the housing provided on site. They will have the opportunity to build up skills in the workshop which will benefit them in their job applications, and meeting the criteria for JSA. They will also have a place to call home for approximately 3 months, however this can be negotiated if for some reason JSA has not been set up before then.</p>

What is Homeless?

Homelessness does not just describe people sleeping on the streets. It can happen to anyone, for any number of reasons. Even if you have a roof over your head you may still be homeless. You may be homeless if you are:



Living in a Hostel / B&B



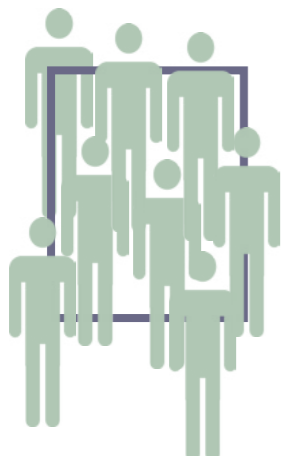
Sleeping Rough



At risk of domestic violence



Living in conditions damaging health



Living in overcrowded conditions



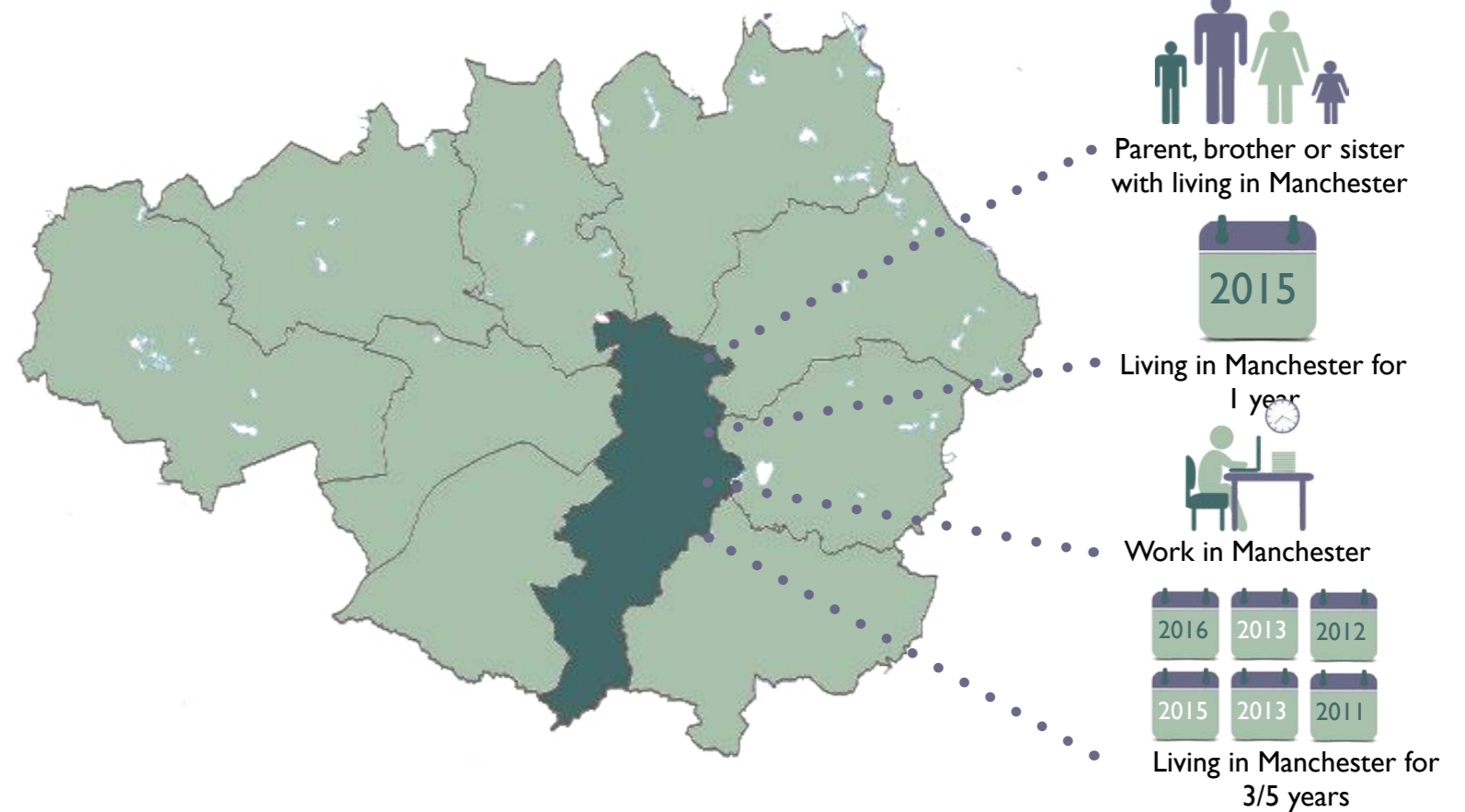
Living with friends/family



Living in unsuitable conditions for your needs

Help for Homelessness

Help is only offered if you have a 'connection to Manchester'.



[Source: Shelter (2016) *What is Homelessness?* Available at: http://england.shelter.org.uk/get_advice/homelessness/homelessness_-_an_introduction/what_is_homelessness (Accessed 16.11.2016)]

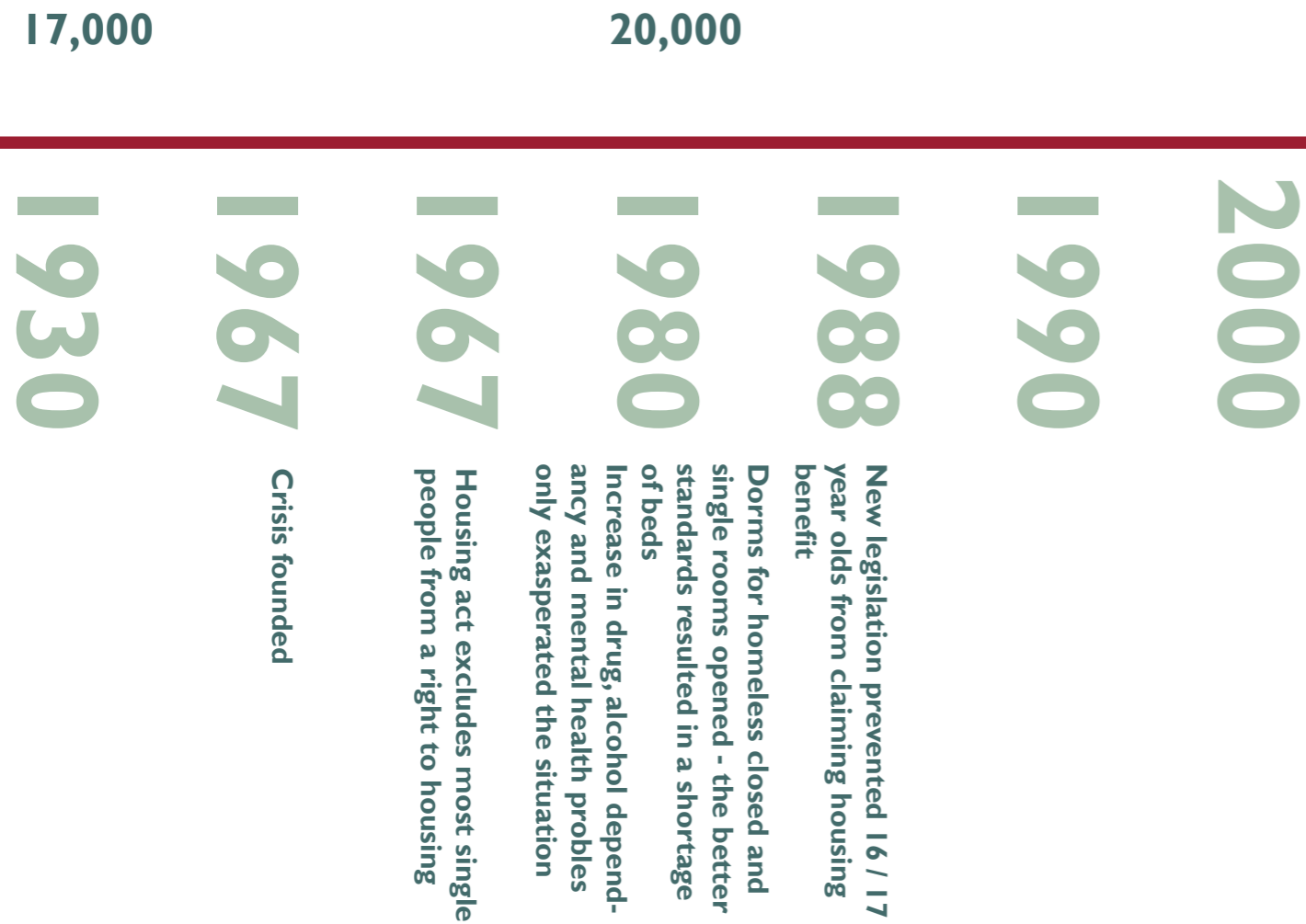
[Source: Shelter.org.uk 2016]

There has been a 6 fold increase since 2010



Sleeping rough is said to have increased due to durable tents and sleeping bags becoming cheaper and more available. [Source. Guardian. 2016]

UK Homeless Accommodation Statistics



Manchester Sleeping Rough Statistics



[Source: www.mungos.org 2016 + www.homeless.org.uk 2016]

“The longer someone sleeps rough, the greater the risk that they will become trapped on the street”

(Source: Homeless Link H 2014)

A shrinking sector

The capacity of the homelessness sector has continued to decline, with the number of accommodation projects at its lowest since SNAP 2009 (down 11%), and the number of bed spaces the lowest we have reported since SNAP started in 2008 at 39,638. There has been a small increase in the number of day centres over the past two years, increasing by 10 (5%) since SNAP 2011, and more people on average are using day centres. This may reflect efforts by faith groups and others to support those in obvious need in their communities at a time of high unemployment and growing hardship.

Less specialist support

The homelessness sector helps people with often multiple and complex needs, but services seem to be offering increasingly generic support. Nearly one in three clients of homelessness services have alcohol issues, and a similar proportion have mental health problems. A quarter have drug problems – nearly 2 out of every 5 clients in hostels – and a quarter have previously slept rough.

This year's SNAP, however, shows that fewer projects are targeting services at clients with specific needs. Targeting of services to rough sleepers has dropped from 28% to 7%, and targeting to people with mental health issues has dropped from 22% to 4%. This suggests that the sector may be drawing back from providing specialist services to people with specific needs, and perhaps offering a more generic service that does not meet the range of needs.

Restricting support

Projects are increasingly refusing access to people who are seen to pose a high risk to staff or other clients, rising from around half of projects in SNAP 2012 to over three-quarters this year. Over half (55%) also refuse clients because their needs are deemed too high. We know that people with multiple needs are often passed between services and are often excluded from many services. It is therefore concerning that there appears to be a trend for homelessness services to be restricting access to this group.

We also found that services are taking fewer clients who don't have a local connection.

Reducing funding

Half of projects reported a decrease in funding this year, although this was slightly less than in SNAP 2012, and nearly three-quarters of the sector remains reliant on local authority funding. There has been a substantial increase in the proportion of projects listing benefit payments and rent and services charges as an income source since last year. It is concerning that the trend in reduced funding from non-housing sources such as social services and criminal justice has fallen again.

Availability of homelessness services



[Source: Homeless Link H 2014]

Homelessness in Manchester

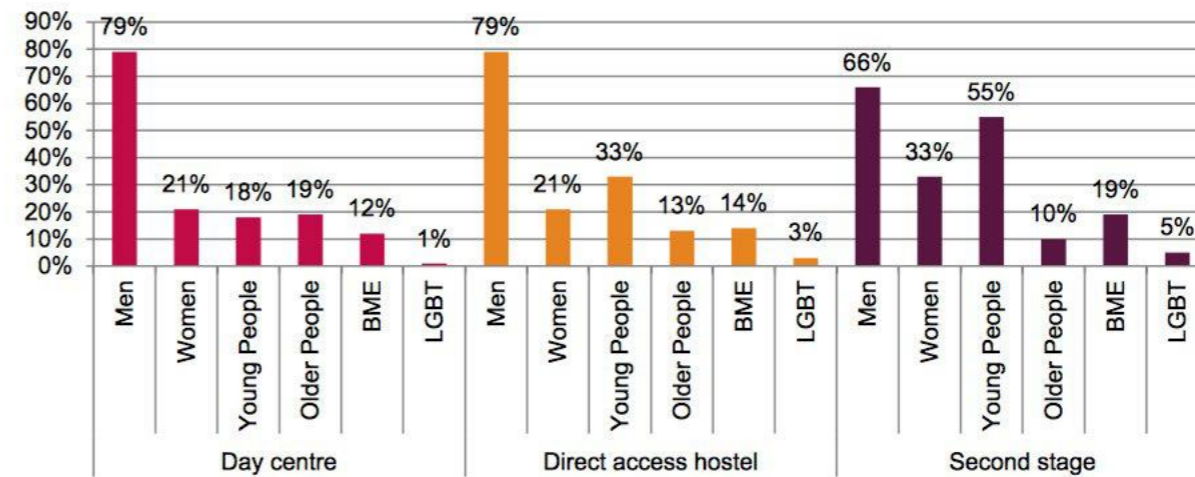
“On average 60 people sleep rough every night in Manchester streets”

(Source. Homeless Link H 2014)

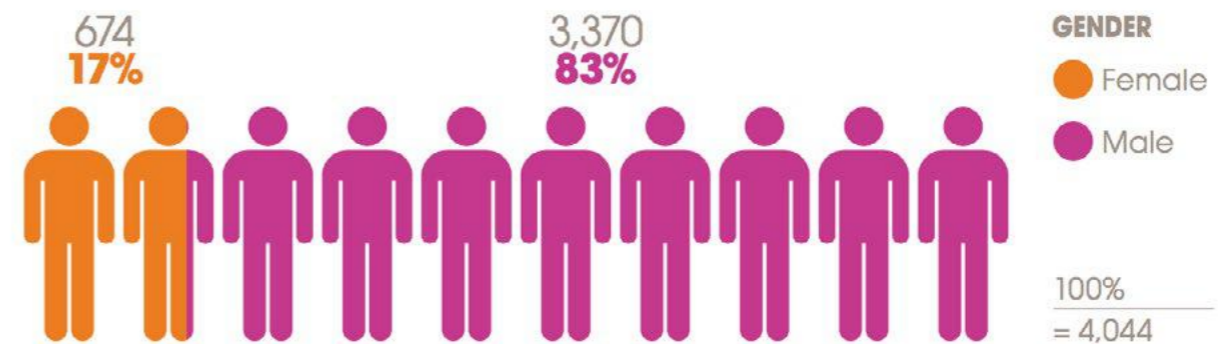
AREA	ESTIMATED NUMBER OF PEOPLE SLEEPING ROUGH ON ANY ONE NIGHT		VOLUNTARY SECTOR PROVIDER(S) SURVEYED
	2011	2012	
Arun & Chichester	25	52	Stonepillow
Bath and North East Somerset UA	4	22	Julian House
Bedford UA	17	19	NOAH Enterprise
Bournemouth UA	16	11	CRI
Bradford	30	26	Horton HA
Bristol	8	9	St Mungos
Brighton and Hove UA	37	43	Brighton Housing Trust
Derbyshire	35	43	Riverside ECHG
Devon	63	51	Freedom Social Projects, St Petrocks, PATH
Greater Manchester	60	71	Riverside ECHG

22% increase in people asking for help at Manchester best known homeless charity in the last year. Although it is estimated that only 50% of homeless people are found and therefore the statistics for the level of homelessness is significantly worse than stated.

[source. manchester evening news 2016]



(Source. Support for single homeless people in England: Annual Review 2015)



All areas were able to provide data on client gender. Of the total 4,044 clients the surveyed schemes reported working with, 83% were men and 17% women.

[Source: Various]

Services for the Homeless

Appendix Two – Services for Homeless People

Barnabus: The Beacon	Beacon drop-in centre provides food, advice and educational activities for homeless people and others in need. Street outreach work in the evenings for homeless people, providing food, hot drinks, clothing and blankets and basic medical care. Support for prisoners
Betel of Britain: Hardy Farm	Residential support for homeless and long-term unemployed people to regain their independence lifestyles. Training for men and women in a wide range of life and employment skills. Residences are drug and alcohol free.
Booth Centre	The Centre is a day centre that offers activities, advice and support to homeless people in Manchester and is usually open from 8am to 4pm Monday to Friday. They provide education, training and advice to enable people to find new homes, improve their health, increase their skills and confidence and to successfully resettle in the community.
Business in the Community	Business in the Community supports people who are homeless or at risk of homelessness into training and Work placements. They also aim to increase the overall level of engagement from businesses in the region, with an emphasis on targeting vulnerable young people and hard-to-reach groups.
Young People's Support Foundation	Support young people to find and secure emergency / longer term accommodation, and to develop Independent living skills. YPSF also offer help and advice with benefit claims, budgeting, managing a tenancy, family issues, specialist advice on parenting, mental and physical health, and work and training. YPSF also offers hot food, showers and washing machines during the morning drop-in sessions three mornings a week.
Cornerstones	The Cornerstones Day centre is for people who are homeless, have no settled address or are cut off from family and other support networks. Housing advice including referrals to emergency accommodation, pre-tenancy, resettlement and tenancy sustainment support. Signposting to and liaison with range of agencies for ongoing support. Showers, clothing store. Low cost breakfast and lunch. Access to phones and internet.
Counted In and Cold Weather provision	The service is targeted at the most entrenched rough sleepers and/or those deemed to be most at risk from the winter weather conditions. Service users are supported in accessing appropriate longer term accommodation and other relevant services (Health care, mental health, substance misuse, benefits). Referral is via outreach services only.
Kings Church	Supports people who are homeless or living in hostel accommodation, including help with finding accommodation. Support is also provided to develop independent living skills such as cooking, cleaning, setting goals and working to achieve them such as money advice/budgeting, access to work, education and training. Kings Church also work alongside agencies and potential employers and support individuals to guide them into the skills and knowledge they need to move forward.
Lifematters, Swan Street Day Centre	Supports young people at risk of, or already suffering from, homelessness and sexual exploitation.
Lifeshare Weekend Breakfast Project	Provide a cooked breakfast to people in need.
Mustard Tree	Supports people who are homeless, socially excluded or vulnerable, providing food, clothing, furniture and training. The Mustard Tree also provides and hosts a range of projects aimed at increasing the confidence, skills and motivation of their clients.
No Second Night Out (Riverside ECHG)	Second Night Out (NSNO) aims to help people who are sleeping rough for the first time, and find them an immediate alternative, so that they do not need to spend another night on the streets.
The Big issue in the North	The Big Issue offers a self help option for homeless people who want to secure an income by selling the Big Issue magazine. Support offered to vendors includes advice on welfare benefits, housing, healthcare, drugs and alcohol, education, training, resettlement support and group activities.

Table 5 : Household composition – homelessness approaches.

Household Composition	2007-08	2008-09	2009-10	2010-11	2011-12	2012-13
Families	2223 36.72%	1941 34.73%	1727 31.79%	1925 31.62%	1967 33.34%	1970 33.14%
Singles	3831 63.28%	3648 65.27%	3705 68.21%	4162 68.38%	3932 66.66%	3975 66.86%
Total	6054	5589	5432	6087	5899	5945

Source: MCC Homelessness Data

Table 21: Manchester Rough Sleepers

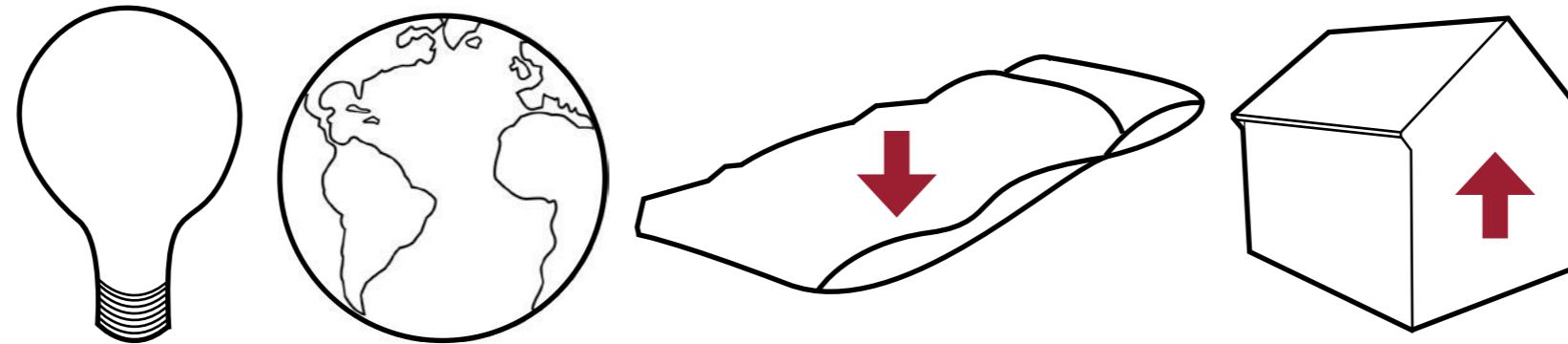
Year	Manchester Rough Sleeper Count
2008	11
2009	9
2010	7
2011	15
2012	27

Source: MCC Homelessness Data

When contacted by MM, a Manchester City Council spokesman defended their scheme, A Manchester City Council spokesperson said:

“ **180 people** accessed the temporary shelters over the winter, with bus passes issued to people who needed them.

[What the council say]



Vision

Our vision is of Manchester as a world-class city. This includes a city where homelessness continues to reduce year on year

Our vision is also of a city that offers a wide choice of housing options, enabling people to live in their neighbourhoods of choice.

Homelessness Services in Manchester

1. Accommodation schemes owned and managed by the Council
2. Accommodation schemes owned by a registered social provider (RP) and managed by the Council
3. Dispersed, self-contained accommodation procured from the private rented sector (PRS) and registered providers. This provides the majority of temporary accommodation for homeless families.
4. Bed and breakfast accommodation for emergency, short-term use only. Additionally, a number of households fleeing domestic abuse (DA) are accommodated in Women's Aid refuges.

Specialist provision is also commissioned for young people through the Homelessness Pathway for 16/17 yr olds. Manchester Move already provides a route into the private rented sector through LetsHelpYou, but we need to further develop access into the private rented sector for households at risk of homelessness. There are other agencies such as Young Person's Support Foundation, The Booth Centre, and Cornerstones.

Homelessness Statutory Duty

Housing Act 1996

- Duty to provide advisory services
- Duty to make enquiries in respect of eligibility and duties owed
- Interim duty to accommodate in cases of apparent priority need
- Duties to people found not to be in priority need and not homeless intentionally.
- Duties to those threatened with homelessness

The 2002 Homelessness Act

- Carrying out a review of homelessness in their area, and
- Based on the findings of the review, developing and publishing a strategy to tackle and prevent homelessness.

Homeless Review

[What the council say]

Homelessness prevention

Homelessness prevention is carried out by the Homelessness Advice and Assessment Team when people approach homelessness services for assistance. It is also carried out by a range of internal services and external providers including advice agencies, voluntary and community sector, and housing providers. Government looked at a number of research studies which suggested that the estimated gross costs of homelessness to government is between £24k - £30k per person per year [DCLG – Evidence review of the costs of homelessness – August 2012]

Rough Sleepers

In 2011 the Government reconfirmed its commitment to end rough sleeping and launched a new strategy – No Second Night Out (NSNO). Greater Manchester was an early adopter of this approach and the Association of Greater Manchester Authorities (AGMA) fund Riverside ECHG.

NSNO has five standards:

- New rough sleepers can be identified and helped off the streets immediately
- The public can alert services if they see anyone sleeping rough so they get help
- Rough sleepers can go to a place of safety, where their needs can be assessed and they can get help
- Rough sleepers are able to get emergency accommodation and other services they need.
- Rough sleepers from outside their area can be reconnected with their community.

The organisations funded through the homelessness grant. These services include an assertive outreach service, day support services to enable people to engage in meaningful occupation, education and work. These services have been very successful in meaningful engagement with individuals and tackling rough sleeping in the City and this approach can be seen to work.

Focus Groups

The objective of these focus groups was to reach homeless people who may be the most socially excluded often with multiple and complex needs, and who may not always engage with mainstream services. A total of 28 people participated in the consultation. The main points to come out of the session were:

- There are good services for single homeless people, but some people who lead chaotic lifestyles have difficulty accessing services.
- A flexible approach is needed towards services and support – some current ways of operating are not flexible.
- The Comprehensive Spending Review will bring lots of pressures as there will be less money. As funding is reduced, the risk is that services will focus on people who fall under the legislation.
- A one stop shop is needed for homeless presentations.
- It is hard for people to resettle when they have complex needs – there is nowhere for people to move on to.
- Will there be a move towards giving homeless people personal budgets so that they can buy the services they want?

[What the council say]

Priority One

Engagement with partners - We will continue to prevent homelessness, and we will strategically commission and work with our partners to deliver effective, pro-active homelessness prevention services. These services will be targeted, accessible to and be able to respond to the diverse needs of all citizens, providing innovative and flexible solutions.

Priority Two

Improve the range of housing options available to homeless people and people at risk of becoming homeless. Work with partners to develop innovative and creative solutions which will increase access to housing for people in housing need.

Priority Three

We will seek to ensure that homeless services are accessible and effective for all our citizens, by commissioning and developing appropriate services for community groups who may be disproportionately vulnerable to homelessness.

Priority Four

We will work with partners to develop and seize opportunities for synergies across health and homelessness and achieve shared outcomes which will improve the health and wellbeing of homeless people. These will include:

- Improving access to appropriate treatment and health care and reduce unplanned admission to hospital
- Establishing appropriate care, support and accommodation on discharge from hospital and/or secure mental health premises.

Priority Five

We will help homeless people to access opportunities for employment, education and training, and support them to raise and meet their aspirations.

Homeless Rights

[According to Shelter]

Right to emergency housing

Local councils have specific legal duties towards homeless people. These are if you're:

- Legally classed as homeless
- Eligible for assistance
- In priority need

Right to housing help from social services

The social services department of the council may sometimes have a duty to help certain groups of people who become homeless.

Social services may also be able to help you if you have dependent children and the council's housing department has decided that you're not eligible for assistance or that you're intentionally homeless.

Rights to stay in or return to your home

You have the right to stay in your home until you are lawfully evicted. Your landlord must follow the correct legal procedure to evict you.

Right to register to vote if you are homeless

You can register to vote if you have no fixed address. This could be because you are homeless, staying in a hostel or night shelter, in prison on remand or a patient in a mental health hospital.

Right to vote in a General Election

Right to claim benefits

You are entitled to claim benefits if you are homeless. Ask for a Simple Payment card if you don't have a bank account. Your benefits are paid straight to this card. You then take it to a PayPoint outlet displaying the Simple Payment sign (for example in newsagents, convenience stores and supermarkets) to collect your money.

You are entitled to register with a doctor when you are homeless.

You can do this using a temporary address, such as a friend's place or a day centre.

[Source: shelter.org.uk 2016]

Council Failures

[What the people say]

The disused Hulme Library, on Stretford Rd, and the former Beech Mount Children's Home, in Harpurhey, were converted by the Council into temporary overnight accommodation in December.

However the recent closure saw each of the 20-bed-a-night accommodations cease to exist as hubs for Riverside Care and Support to provide mental and physical healthcare – as well as overnight respite. On the night of the closures, Homeless Rights of Justice's Adam Whelan was providing relief to homeless residents in Manchester city centre, distributing food and hot drinks alongside Joint Veteran Alliance Limited and activist-group Anonymous.

"The accommodation was not open long enough," Mr Whelan told MM.

"Over the past two years the council have shut down many beds. [The temporary accommodation] was too little, too late.

"The Council only provided winter accommodation because we took over a building that ended up being very high profile – the Neville-Giggs owned Stock Exchange.

"As Gary Neville told us we could stay till just after Christmas it made the Council look stupid so they had to do something – but they only provided just over thirty beds in two buildings."

"The council are horrendous, in every different way they are failing [homeless people]," he said.

"One of the problems is if you go to the Council they might say you made yourself intentionally homeless or you are not a high priority as you might be a male over the age of 21.

"Everyone is as vulnerable as everyone else when you are asleep."

This vulnerability undercuts the Council's Neighbourhood Scrutiny Committee 2013 Homeless strategy, which had a stated aim of improving the well-being of the city's homeless residents.

With reports that grants have been cut from £1.2million to £530,000 this year, Mr Nzeribe responded: "With cuts to the Council from the Conservatives, only a strong voluntary sector will be able to take up the slack.

"The Council has done lots to support business. It should put that same strategic thinking into supporting Manchester charities."

Deyika Nzeribe, Green Party

This shortfall is being tempered by the charity of individuals like Salford-born David Minshull – an ex-homeless veteran who now provides a contact point for vulnerable veterans and the homeless.

"As Manchester is a big city, people from all over the country will come here but the council might say to them that there's no connection [to Manchester] and there's nothing we can do for you.

"It's a Catch 22, most of the guys on the street don't have an address or money and you can't get a house unless you've got a job and you can't get a job unless you've got a house."

Council Failures

[What the people say]

The number of pleas for help made to North West councils by people on the brink of homelessness has almost doubled over the last five years.

Councils across the North West – Greater Manchester authorities included – have received over **31,000 desperate appeals** from people on the brink of homelessness in the last year, research has revealed.

The figures published by Shelter have also revealed that **3,600** households in the region were made officially homeless in 2015.

The analysis, based on government statistics, has found that the number of requests made to councils has risen by an astonishing **96% over the last five years.**

Shockingly, 20% of these calls came from people who were faced with losing their home within a month or less.

Mr Robb and the team at Shelter are calling on the public for urgent support – with the regional crisis only set to worsen as Christmas approaches.

“Sadly, the combination of our **affordable housing shortage and cuts to welfare** means that more and more parents are finding themselves struggling to keep a stable roof over their children’s heads,” he said.

[Source: Adam Payne, 14 DEC 2015]

Living Home Standard

43% of homes in Britain don't meet the Living Home Standard

(Source: Shelter 2016)

The 39 statements which make up the Living Home Standard are split across five different dimensions:

- 1 Affordability
- 2 Decent conditions
- 3 Space
- 4 Stability
- 5 Neighbourhood

The standards were developed in 2016 by the public for the public to represent what 'home' means, and to provide a minimum expectation we should all have for our homes. Yet there are 43% of dwellings that fail to live up to this acceptable standard. The dwellings fails if it does not meet all of the essential attributes, or if it doesn't meet approximately 50% of the desirable attributes.

Reasons for failing

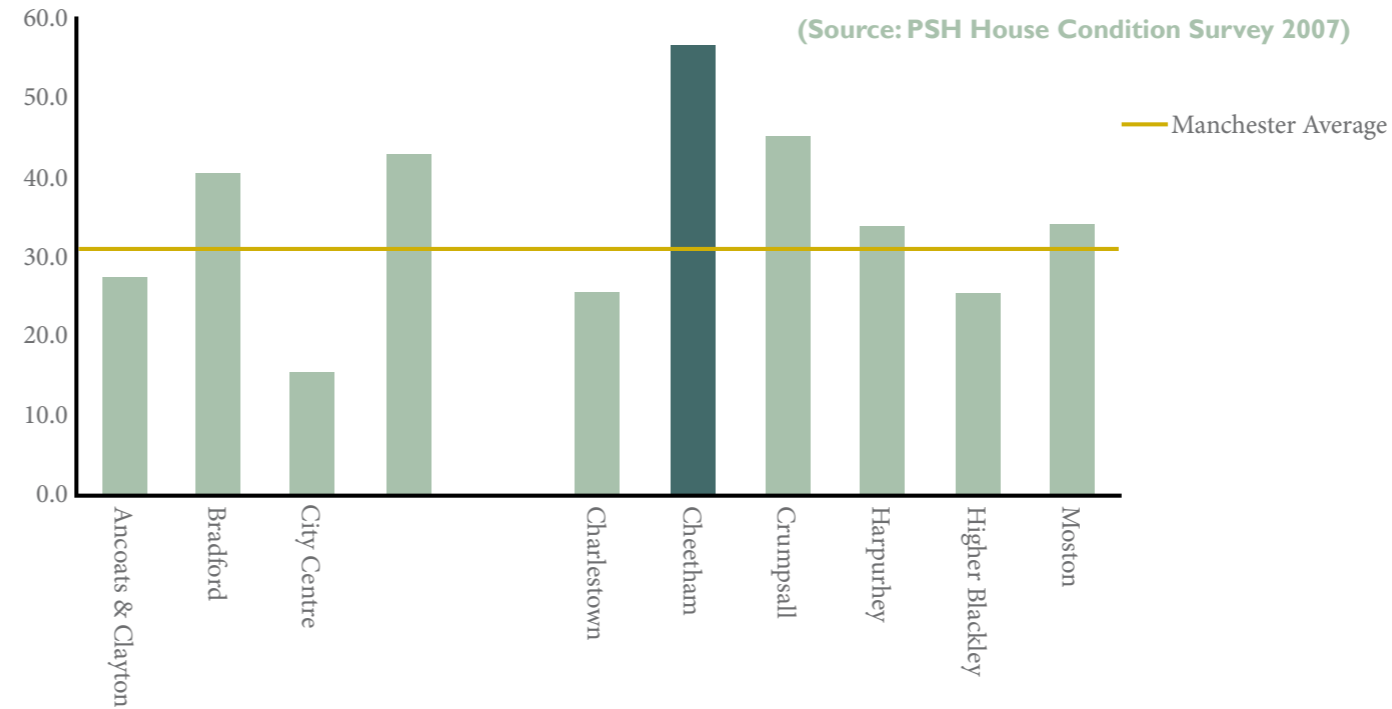
- Affordability = 27%
- Decent Conditions = 18%
- Space = 11%
- Stability = 10%
- Neighborhood = 5%

In terms of stock condition, and the percentage of homes that fall below 'Decent Homes' standards, there is a higher percentage of less than 'Decent Home' standards in North West Manchester than in Manchester as a whole. Cheetham (56.4%) and Crumpsall (44.8%) have the highest rates of less than 'Decent Homes' in the West, and in the North East wards Bradford (40.2%) and Miles Platting & Newton Heath (42.6%) have the highest. (Note: the House Condition Survey records data for private sector housing only). Of the people living in social housing provided by Northwards Housing in Cheetham Hill in 2015, 84% of customers were satisfied with the overall service. However 16.6% of Local Authority dwellings also fall below the 'Decent Home Standard'.

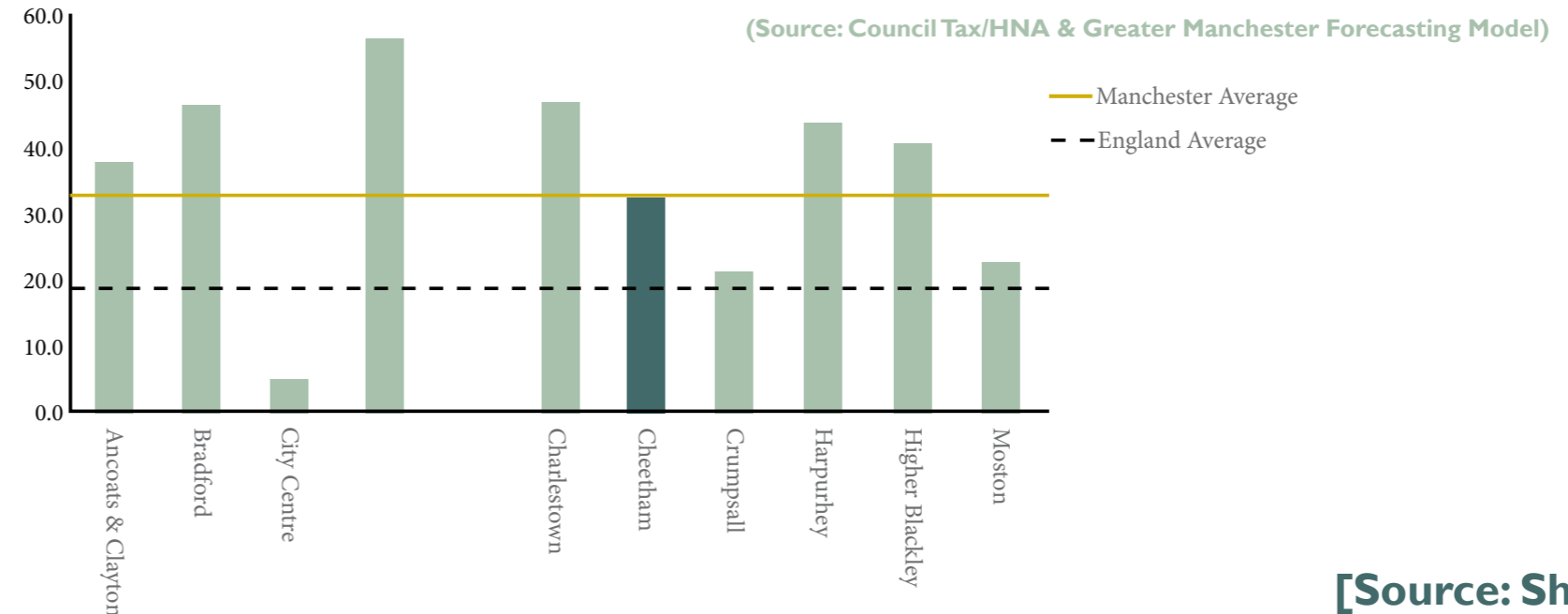
“It can't be just surviving: you have to fully live.”

(Source: Shelter 2016)

% of Private Dwellings Below Decent Standard



% of Social Housing Dwellings Below Decent Standard



[Source: Shelter 2016]

Affordability

[Rental Price Analysis]

On the 10.11.2016 there were 5,532 properties for rent in the Greater Manchester area. On that day the average rental price was £1,313 pcm.

On this day the average rental price for properties with an M8 Postcode was £614.

13 x  Average price £453

19 x  Average price £628

7 x  Average price £721

4 x  Average price £987

1 x  Average room price £347

27 x  Average flat price £582





16 x  Average house price £706

[Source: home.co.uk]

[Housing Benefit Analysis]

According to Value Data Agency there has been a 22.4% increase in rental price in 12 months across greater manchester. Average home costs 42% of the average weekly wage (average cost £8,448)

The figures below reflect the current general recommendations the council offer for Housing Benefit Allowances. **[Source: gov.co.uk]**

Property	Weekly Amount
 1 Bedroom (or shared accomodation)	Up to £260.64 approx £1130 pcm
 2 Bedrooms	Up to £302.33 approx £1310 pcm
 3 Bedrooms	Up to £354.46 approx £1130 pcm
 4 Bedrooms	Up to £417.02 approx £1807 pcm

[According to the “Living Home Standards”]

Essential Affordability is measured by:

The tennant can meet the rent or mortgage payments on the home without regularly having to cut spending on household essentials like food or heating. The tennant is not worried that rent or mortgage payments could rise to a level that would be difficult to pay.

Tradable Affordability is measured by:

The tennant can meet rent or mortgage payments on the home without regularly preventing participation in social activities. The tennant can meet the rent or mortgage payments on the home without regularly being prevented from putting enough money aside to cover unexpected costs.

[Conclusions]

Approx 1,250 homes rented out by not-for-profit landlords like housing associations and housing trusts in Cheetham Hill.

-Between 1997 and 2013 there was a significant drop in the amount of people in absolute poverty. The amount of people in relative poverty has fluctuated up and down over the same period.

-There is a continuous problem with housing costs pushing people over the threshold of both relative and absolute poverty.

-The amount of people in poverty residing in social rented accommodation has dropped over the last 12 years. However this is probably due to the reduced amount of social housing available. The increase in people in poverty in private rented accommodation is likely due to the increase in people relying on private rented accommodation due to lack of social housing.

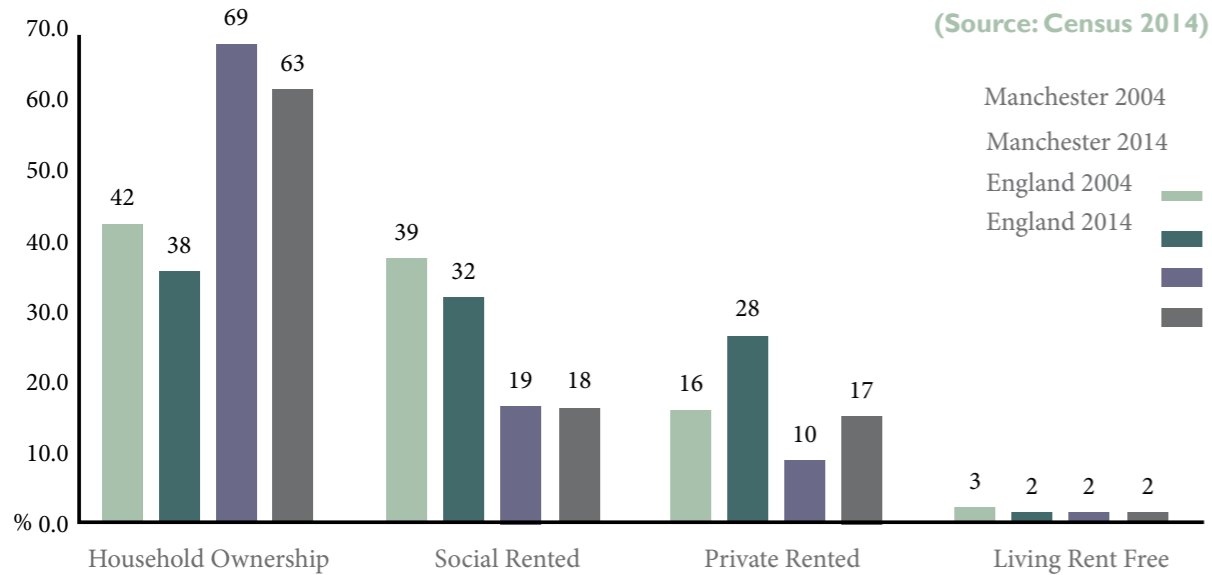
[Source:Various]

Decent Conditions

In Manchester 67.3% of dwellings are owned privately, 8.2% are owned by Local Authorities, 24.3% are owned by a Registered Social Landlord

Tenure; the conditions under which land or buildings are held or occupied

Comparison of Dwelling Tenure from 2004-2014



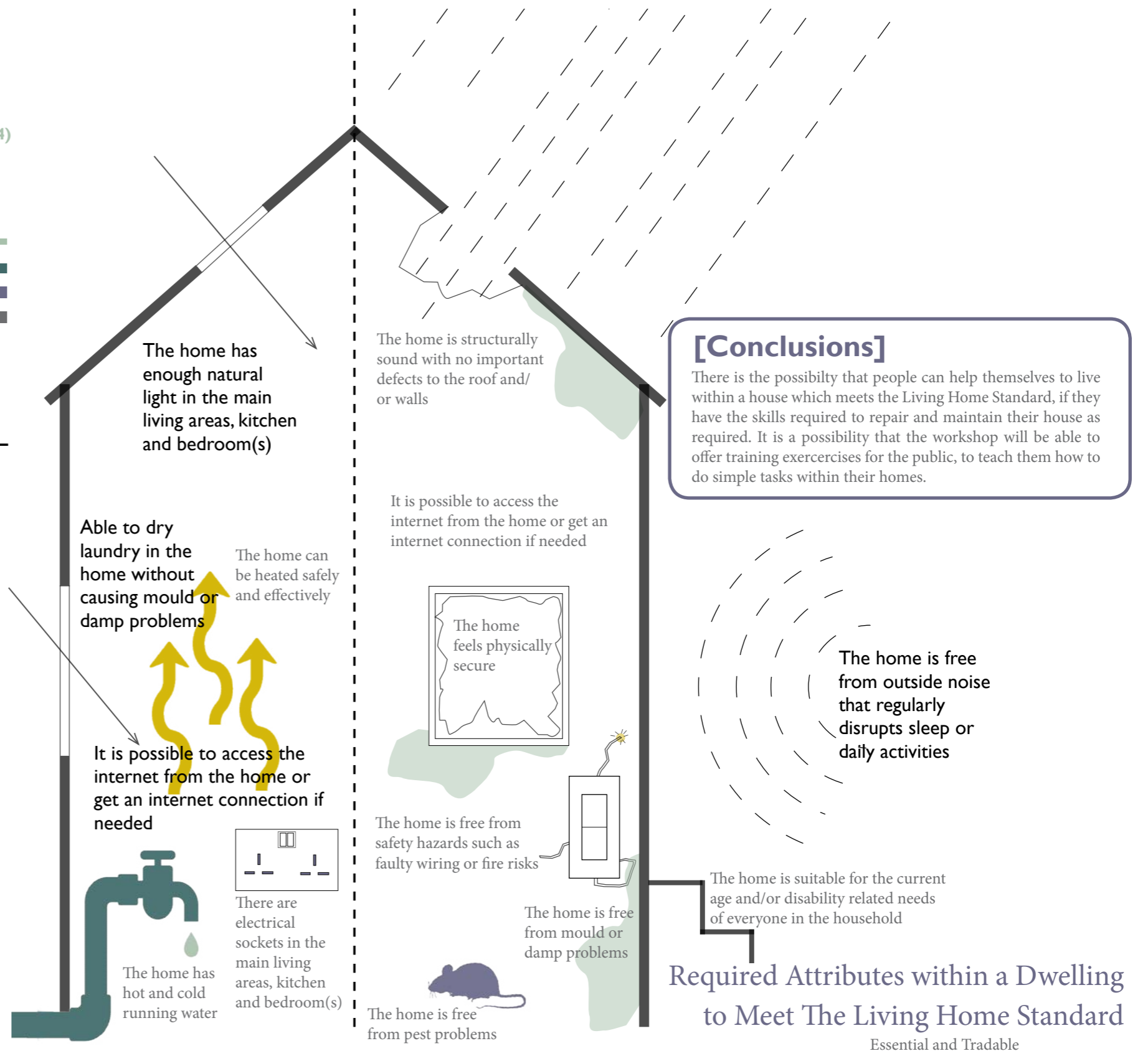
These figures show that less people in Manchester own their home in 2011 when compared to 2001 (-37%) therefore the reliance on rental properties has dramatically increased. Of these, 7% less households in Manchester live in Socially rented accommodation in 2011 when compared to 2001 due to vast amounts of housing stock transferred from the Local Authorities so Housing Associations or being bought by Private Landlords. Due to this, the private rental market saw an increase of 12% from 2001-2011.

In Cheetham Hill the Housing Association Northwards Housing looks after 1300 homes on behalf of the Local Authority. Based on a study conducted by #### in ##### it is clear that people would rather live in a home owned by the Local Authority than a private landlord because it is felt in general that the properties are in better condition. Tenants living in social housing run by Northwards housing are given basic advice for carrying out simple repairs on their properties themselves. If it is not a problem they can resolve themselves the 'handyman' service is given a not-for-profit price for the work. This is helping to reduce the amount of problems people have with their properties and therefore stopping many falling below the Living Home Standard.

The ability to heat the home is one of the essential attributed required for the Living Home standard. 15,031 (9%) dwellings didnt have central heating in 2004. This dramatically dropped to 6410 (3%) dwellings in 2014. Although such a significant drop is promising, the 3% that do not have heating in 2014 therefore fail the Living Home Standard.

Living Home Standard

Catch 22



[Population, Density & Overcrowding]

Manchester Population = 530,292 (2016)
 Cheetham Hill Population = 23,784 (2016) 53.2% men

With the population continually increasing, approximately 2% every year, (increase of 80,202 people between 2001 and 2011) the housing market continues to struggle with undersupply. Momentum of home building diminished significantly in the recession with lows of residential completions in 2011/2012 of 960 homes compared to 5,412 in 2007/8.

This led to an interesting result where, due to the increase in population, some areas, such as Longsight where only 181 properties have been built, despite a rise of population 3,600 people between 2001 and 2011, the number of vacant properties has halved since 2007. In 2015 there was on average 3.8% vacant dwellings in Manchester compared to 2004 when there was 9.8%.

The lack of available properties, together with rising house rental costs has also led to a problem of over crowding with 1.8% of families in Manchester living with another family. Overcrowding can be found particularly in areas with a high influx of migrant workers and also where large families sharing living space is a cultural norm. North West Manchester wards have higher rates of overcrowding, while Cheetham (7%), Crumpsall (10%) and Harpurhey (9%) have the most. In comparison with the wards in the North East, only Bradford (13%) is above the city-wide average of 5%.

In 2015 £300M was awarded by Homes and Communities Agency to

[According to the “Living Home Standards”]

improve the housing situation in Manchester. Since then a significant portion has already been utilised developing 1,100 homes. One of these developments, Charminster Drive of 23 units, lies in Cheetham Hill. The ambition is to build 25,000 homes by 2025 by building large high density developments in the North and East of Manchester.

There was a 13.36% increase in dwellings in Manchester between 2004-2014 however there was an 18% increase in population over the same period highlighting the massive shortfall in housing provision.

Essential Space is measured by:

- The number of bedrooms in the home is adequate for all members of the household
- There is enough space to allow all members of the household to have privacy, for example when they wish to be alone
- There is enough space for all members of the household to comfortably spend time together in the same room
- There is adequate space to prepare and cook food
- There is adequate space to store essential items, such as a reasonable amount of clothes, towels and bedding

Tradable Space is measured by:

- There are enough bathroom facilities for everyone living in the household to be able to use them at a time suitable for their needs
- The home has access to outdoor space, for example a private or shared garden, or balcony

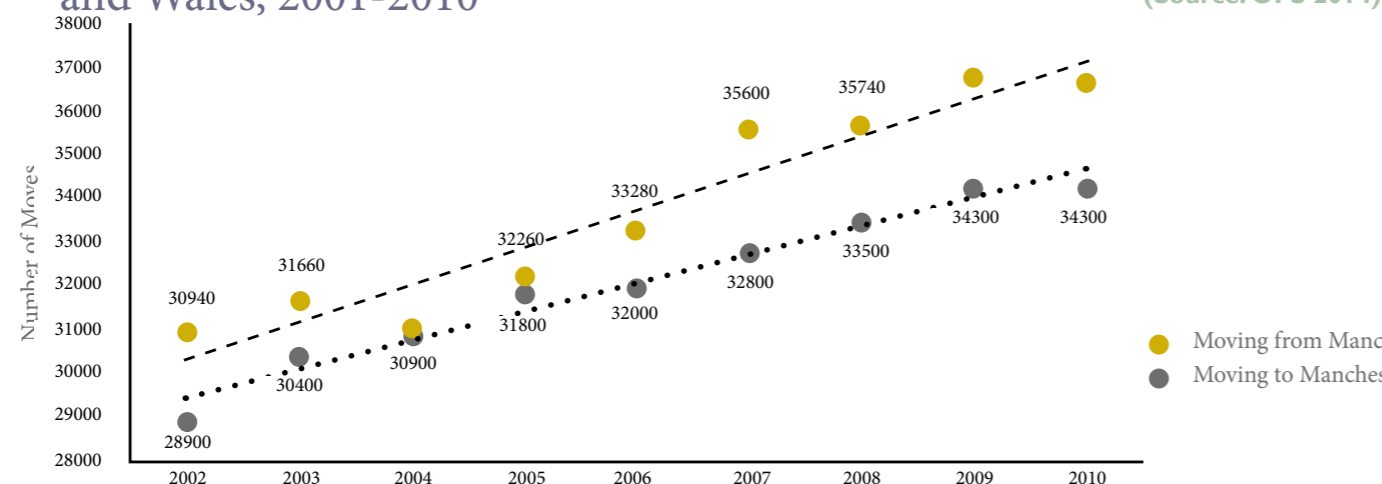
- There is enough space for members of the household to study or do work or homework if they need to
- There is enough space for a guest to stay overnight, for instance on a sofa or sofa bed
- There is enough space to store domestic items like vacuum cleaners and ironing boards to keep them out of the way
- There is enough space to store some personal belongings, such as books or children’s toys

[Conclusions]

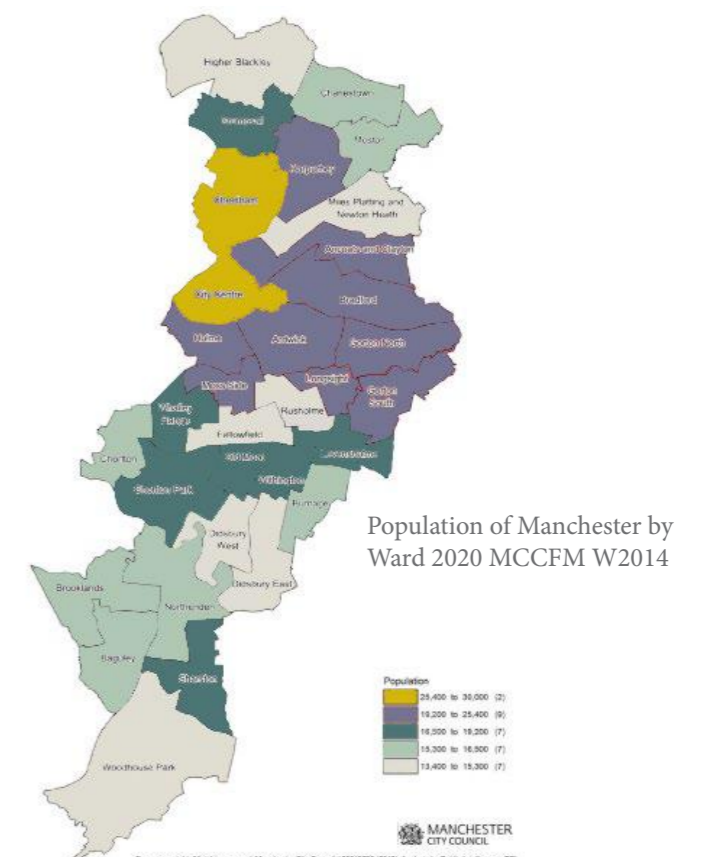
The population of Manchester has risen dramatically between the 2001 and 2011 census yet the housing provision has not risen at the same rate. This has led to an increased problem of overcrowding in houses which caused many homes to drop below the Living Home Standard.

The amount of vacant buildings has also fallen significantly due to the increased demand however this is not a sustainable source for the continuously growing population. The lack of supply is causing many people to live in houses which are in poor condition as they have very little choice. It is also resulting in house prices continuously rising, pushing more and more people to rely on benefits or to fall below the poverty line.

Number of People Moving Manchester To and From rest of England and Wales, 2001-2010



(Source: OFS 2014)



Stability

[Standard for living document]

It is considered essential in the Standard for Living document that the household has enough control over how long they can live in the home.

It is only considered as a tradable standard for if ever given notice to leave the home, the household feels they would be given enough notice to secure somewhere else suitable to live. The tenant should be able to stay in the home long enough to feel part of the local community if wanted. The tenant can make changes to the interior of the home such as decorating, if wanted. And able to keep a pet in the home or garden if wanted.

[Rent Terms]

Social renting households were more evenly distributed across differing residency lengths. A third (35%) of private renters had been resident at their current property for a less than one year, with a diminishing number of households resident for each successive longer period.

A let in the private rented sector commonly has a fixed initial term of 6 or 12 months (although the tenant and landlord can agree a longer fixed term period). After the fixed term ends, if a new one is not agreed, the tenancy will 'roll on'. From this point on, the landlord typically has the right to terminate the tenancy with two months' notice, and the tenant with just one month's notice.

Rent controls were removed in the late 1980s (giving landlords more freedom to set rent levels), and assured shorthold tenancies became the standard, giving greater flexibility in the length of tenancies. Lenders introduced the buy-to-let mortgage at around the same time, attracting many new investors into the private rented sector.

In 2013-2014 The average length of residence of households in the social rented sector was 11.5 years. The average length of residence for private renters was 3.5 years.

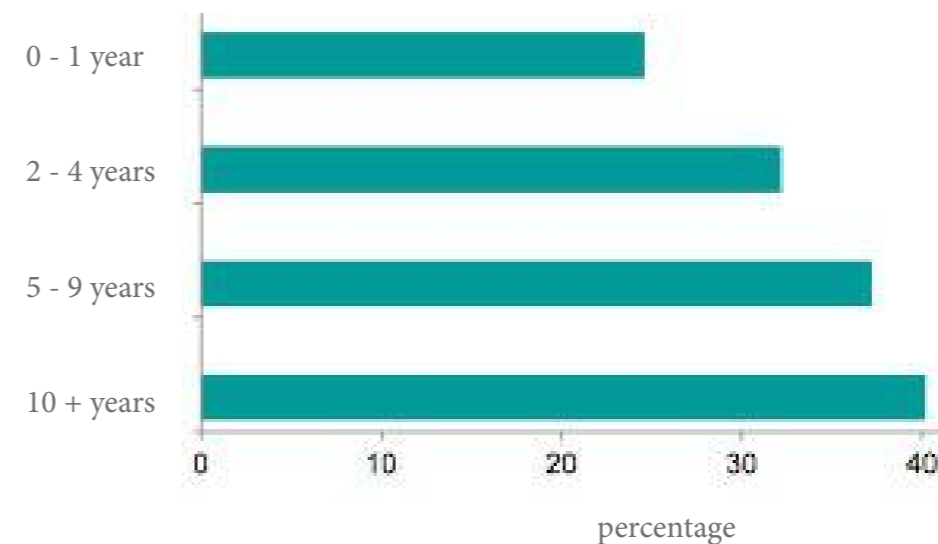
[Length of residence]

According to the Department for Communities and Local Government document completed in 2014; Owner occupiers had been resident in their current property for an average of 17.1 years; social renters had been resident for a shorter period at 11.5 years.

The private rented sector is typified by comparatively shorter tenancies and private renters had the shortest average length of residence at 3.5 years.

In 2013-14, the average length of residence for private renters was 3.5 years. This fluctuated considerably with age, from less than a year among those aged 16-24 to 14 years among those aged 65 and above.

Unemployed renters resided for longer on average compared with those who were working full time (4.1 years compared with 2.5 years), whilst those in the lowest income quintile resided for longer than higher income group (5.5 years compared with 2.4 years in the highest income group).



[Source: Department for Communities and Local Government document 2014]

Neighbourhood

[Social Security Net]

This map outlines some examples of where the community may come together to gain support from advisors and like minded people. The buildings highlighted in red are buildings that represent certain social groups, such as places of worship, job centres, welcome centres and advice centres. However it is clear that within the area that has been defined, the majority of the social net lies in places of worship.

Some examples of these spaces have been outlined below:

- Cheetham Hill Welcome Centre
- Jamja Masjid North Manchester Mosque
- Seventh Day Adventist Church
- RCCG Nigerian Church
- Manchester Unkrainian Cultural Centre
- Irish World Heritage Site
- Broughton Hub

The orange pins all locate projects for the community to take part in a activity. Examples of these are:

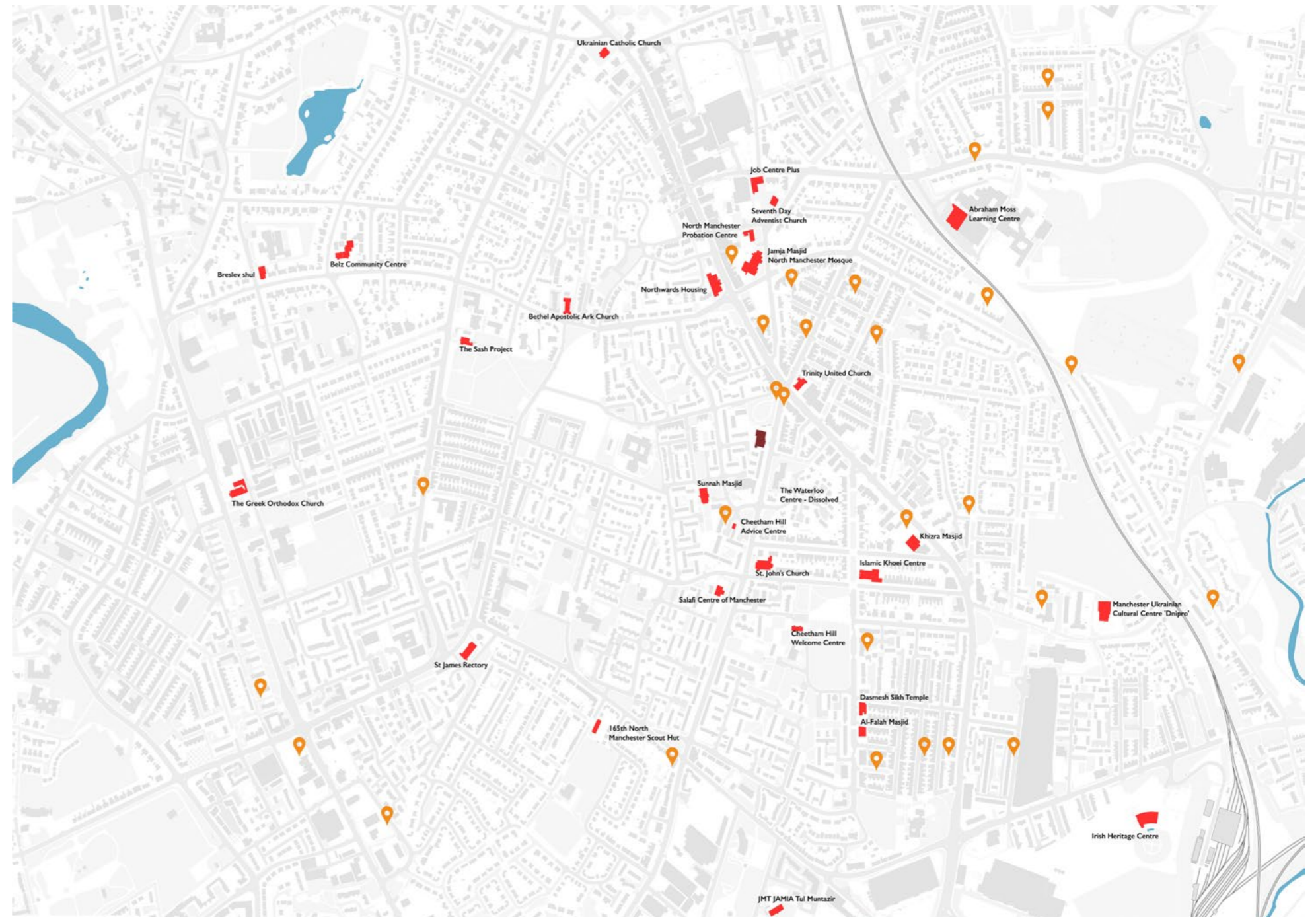
- Irish Community Care Allotment Project
- Malasia Community
- Asian Elders Group
- Cheetham Al Hilal Community Project
- Abraham Moss warriors
- Afro Cats

In initial investigations there appears to be 5 learning centres in the immediate area, and 6 Libraries.

Learning Centres are a vital resource in the area, in 10.3% of people in manchester not speaking english within the household according to the census report.

In the 'Housing experiences and aspirations among low-paid migrant workers in Manchester' 30% of respondants mentioned that language barriers were a key constraint to be able to improvement of their lives.

Our intention is, through recorded interviews, to gain further and more conclusive evidence of where people might consider there social security net. It is clear from the research from census and manchester city reports of statistics the percentage of people that have travelled to manchester alone is high, and therefore examples such as listed above are more critical for socio-support.

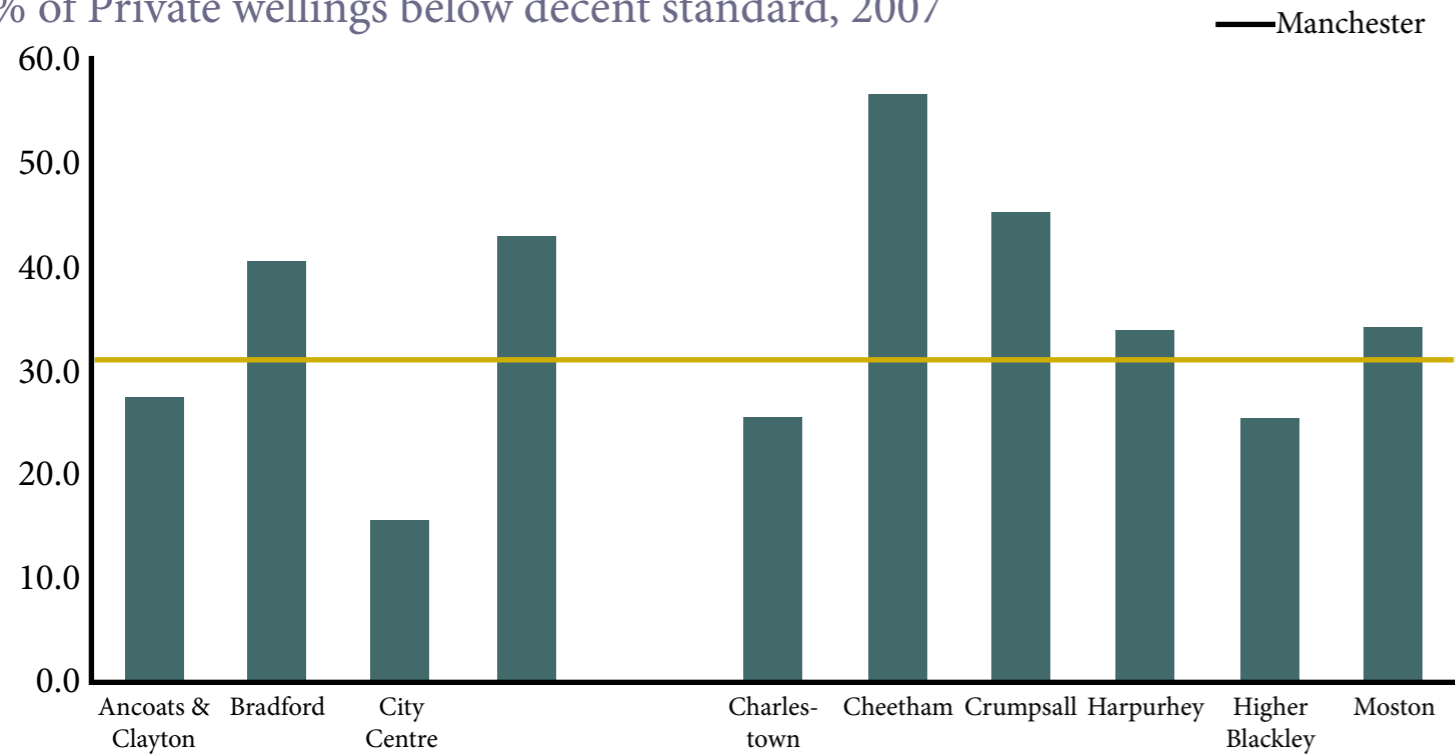


The 2011/12 survey showed that 77% of respondents were satisfied with their local area as a place to live, slightly higher than the 75% in 2010/11 and 2009/10.

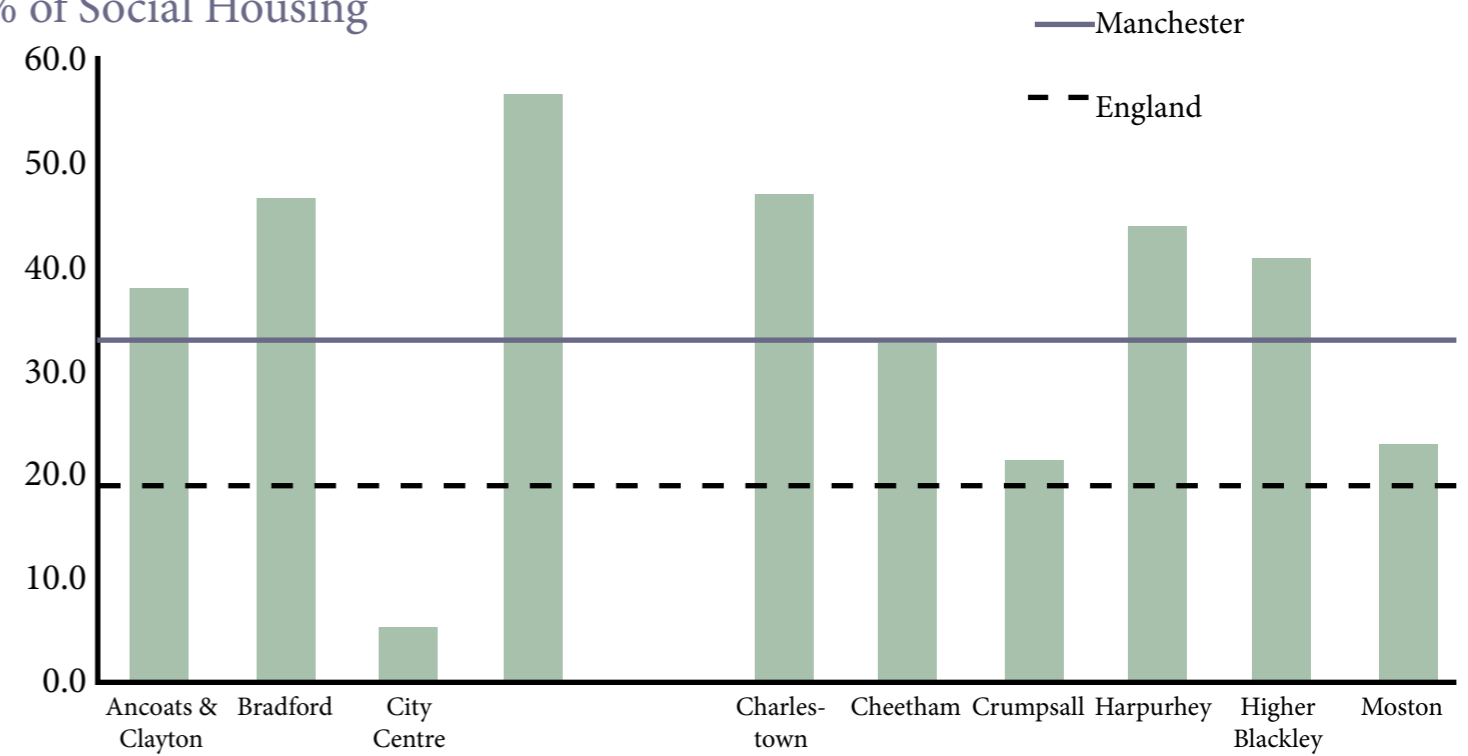
The Living Home Standard states that an essential attribute of Neighbourhood is to feel reasonably safe and secure in the local neighbourhood.

Private and Social Housing Standard Comparison

% of Private wellings below decent standard, 2007



% of Social Housing



In terms of stock condition and the percentage of homes that fall below 'Decent Homes' standards, there is a higher percentage of less than 'Decent Home' standards in North West Manchester. Cheetham (56.4%) and Crumpsall (44.8%) have the highest rates of less than 'Decent Homes' in the West, and in the North East wards Bradford (40.2%) and Miles Platting & Newton Heath (42.6%) have the highest. Note that the House Condition Survey records data for private sector housing only; social housing is estimated to have lower rates of overcrowding as where overcrowding occurs efforts are made to rehouse residents.

Overcrowding can be found particularly in areas with a high influx of migrant workers and also where large families sharing living space is a cultural norm. North West Manchester wards have higher rates of overcrowding, while Cheetham (7%), Crumpsall (10%) and Harpurhey (9%) have the most. In comparison with the wards in the North East, only Bradford (13%) is above the city-wide average of 5%.

[Source: PSH House Conition Survey 2015]

[Source: Council Tax/HNA & Greater Manchester Forecasting Model 2015]

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